

## 8.6 SECTION 8 - APPENDICES



8.6.1 APPENDIX 1: TABLE 3.1 – URBAN / RURAL ROAD AND ACCESS STANDARDS FOR THE HAURAKI DISTRICT

URBAN AREAS<sup>1</sup>

	Road Classification		Lots / Dwellings served	Maximum Length (m) <sup>2</sup>	Legal Road Width (m)	Widths (m) <sup>11</sup>					Minimum Total Seal Width <sup>11</sup> (m)	Foot Path	Maximum Gradient <sup>4,5</sup>	Minimum Kerb Radius (m)	Pavement Marking Treatment	Pavement Surfacing	Amenity Treatment	
	Hierarchy	Description				Lane Details	Service strip (min)	Sealed Shoulder	Parking	Total Seal Width								
Internal Accessways	Residential	Access leg	1		3.5							12.5% Standard 12.5 - 20% Specific Design	R=6m	Centreline only	Concrete/ AC/ 2 coat seal <sup>7</sup>	Refer to relevant section		
		Internal Access	2 to 4	60	1 x 2.8	2 x 0.35	2.8	2.8										
		5 to 8	100	2 x 2.4	2 x 0.6	4.8	4.8	1 x 1.4 <sup>6</sup>										
	Low Density Residential	Access leg	1		6													
		Internal Access	2 to 3	200	1 x 2.8 <sup>3</sup>	2 x 0.35	2.8	2.8										
		4 to 8		9	2 x 2.4	2 x 0.6	4.8	4.8										
Industrial	Internal Access	1 to 2	50	6	1 x 3.5	2 x 1.25	3.5	3.5										
Township/Town Centre	Internal Access	1 to 2	30	3.5	1 x 2.8	2 x 0.35	2.8	2.8										
Public Roads	Roads	Service lane			10				Nil	Nil	6	6	Nil	10%				
		Cul de sac (no exit)			15	2 x 3.0			1 x 0.5	1 x parallel parking	9	6	1 x 1.4m	12.5%	R=12m	Centreline only	2 Coat seal	
		Local							Nil	2 x parallel parking	12	12		5%	R=15m	Centreline and edge lines	A/C	
		Industrial (local road)			20	2 x 3.5			Nil	2 x parallel parking	12 (plus for angle parking)	12	12		10%	R=20m		2 Coat seal/ (A/C to reduce noise)
		Town Centre										8						
		Collector								2 x 2.5 parking		12	11		8%			
Arterial																		

RURAL AREAS<sup>1</sup>

	Road Classification		Lots / Dwellings served	Traffic Volume (ADT)	Maximum Length (m)	Minimum Legal Road or Accessway Width (m)	Widths (m) <sup>11</sup>				Minimum Total Seal Width <sup>11</sup> (m)	Alignment				Feather Edge Pavement Slope (width)	Sealing the High Side of Horizontal Curves <sup>12</sup>	Clear zone Requirements <sup>8</sup>	Turning Facility (No exit roads)	Pavement Marking Treatment	Delineation	Pavement Surfacing
	Hierarchy	Description					Formation Width	Lane Details	Sealed Shoulder	Total Seal Width		Minimum horizontal Radius (m)	HCV Tracking Widening	Maximum Gradient <sup>4,5</sup>	Maximum Super-elevation							
Internal Accessways	Access leg		1																			
	Internal Access		2 to 3		500	6	2.8	1 x 2.8 <sup>3</sup>		2.8 <sup>4,9</sup>	2.8 <sup>4,9</sup>		Yes	12.5% Standard 12.5 - 20% Specific Design								2 coat seal <sup>9</sup>
			4 to 5		1000	9	4.8	2 x 2.4		4.8 <sup>4,9</sup>	4.8 <sup>4,9</sup>											
Public Roads	Local Road			< 300		15	10	2 x 2.5		6	5	15		12.50%		4 to 1 (2.0m)						
	Collector Road			300 to 700		20	12	2 x 3	2 x 0.5	7	6.5	20	Yes	10%	10%	5 to 1 (2.5m)	Yes (0.5m)	Yes	Yes	Yes	Painted Centreline	Edge marker posts only
				700 to 1000	13		8															
				1000 to 2500	14		9															
Arterial Road			> 2500			16	2 x 3.5	2 x 1.5	10	7.5	25		8%	8%	6 to 1 (3.0m)	Yes (1.0m)				Centreline and edge lines	Edge marker posts and centreline raised pavement markers	

NOTES

- These standards exclude Karangahake, Mackaytown & Waikino. The specific requirements for these towns are addressed in Volume 2 Part 3 & Table 3.2
- Traffic calming measures are required where the length exceeds 50 m or there is no clear line of sight. Design to be approved by the HDC Engineering Service Manager.
- Passing lane are required at 100m maximum spacings or at appropriate locations not exceeding 50 m where there is no clear line of sight.
- Where accessway gradients exceed 12.5%, specifically approved surfacing is required.
- The first 5m of the entrance shall have a maximum gradient of 12.5% (1 in 8).
- A pedestrian strip 1.4m wide shall be incorporated for pedestrian access. Concrete surfacing is acceptable, however, alternative surface treatments may be utilised with specific approval of the HDC Engineering Services Manager. These must minimally be to the same standard.
- Alternative pavement and surfacing designs can be considered with specific approval of the Council through the Resource Consent process
- Refer to NZTA Draft State Highway Geometric Design manual for details (clear zone recovery widths are based on 85%ile design speeds).
- This is required for the first 20m only (where off a sealed road) to prevent tracking of metal onto the road
- Some local roads may be metalled with the specific approval of the Council through the Resource Consent process
- Dispensations for a reduction in seal width below the target requirement must be approved by the Council through the Resource Consent process
- Sealing of the high side of a horizontal curve on a local road is optional. Should it be sealed then the minimum width is 0.3m.

8.6.2 APPENDIX 2: TABLE 3.2 – URBAN ROAD AND ACCESS STANDARDS FOR THE SETTLEMENTS OF WAIKINO, KARANGAHAKE AND MACKAYTOWN

	Road Classification		Lots / Dwellings served	Maximum Length (m) <sup>1</sup>	Legal Road Width (m) <sup>11</sup>	Minimum Width (m)			Foot Path	Alignment				Minimum Feather Edge Pavement Slope (width)	Sealing the High Side of Horizontal Curves	Clear zone Requirements (m)	Turning Facility (No exit roads)	Centreline Pavement Marking Treatment	Road Edge Delineation	Centreline Raised Pavement Markers	No Passing Lines	Street Lighting	Kerb and Channel urbanising <sup>6</sup>	Pavement Surfacing
	Hierarchy	Description				Lane Details	Service strip	Seal Width		Minimum Horizontal Radius (m)	HCV Tracking Widening	Maximum Gradient <sup>4, 5</sup>	Maximum Super-elevation											
Internal Access-ways	Residential	Access leg	1		3.5																			
		Accessway	2 to 4	60		1 x 2.8	2 x 0.35	2.8			Yes	12.5% Standard												2 coat seal <sup>8, 9</sup>
			5 to 8	100	9	2 x 2.4	2 x 0.6	4.8	1 x 1.4 <sup>3</sup>			12.5% – 20% Specific Design												
Public Roads	Roads	Cul de sac (no exit)			15	2 x 2.5		5 <sup>2</sup>			15	Yes	12.5%	10%	4 to 1 (1.6m) <sup>13</sup>		2	Yes				Intersection flag lights only	No (Possibly considered in constrained situations)	2 coat seal <sup>10</sup>
		Local			20	2 x 3.0		6			20				4 to 1 (2.0m)	Yes (0.5m)			Yes	Marker posts only				
		Collector																						

NOTES

- 1 Traffic calming measures are required where the length exceeds 50 m or there is no clear line of sight. Design to be approved by the HDC Manager of Engineering Services.
- 2 A minimum seal width of 4.4m is acceptable in constrained topographical situations with specific approval from the Council through the Resource Consent Process.
- 3 A pedestrian strip 1.4m wide shall be incorporated for pedestrian access. Concrete surfacing is acceptable, however, alternative surface treatments may be utilised with specific approval of the Council through the Resource Consent process.
- 4 Where accessway gradients exceed 12.5%, specifically approved surfacing is required.
- 5 The first 5m of the entrance shall have a maximum gradient of 12.5% (1 in 8).
- 6 Throat island installations not required.
- 7 No painted centreline marking is required for seal widths less than 5.0m.
- 8 Alternative pavement and surfacing designs can be considered with specific approval of the Council through the Resource Consent process. These must be minimally to the same standard.
- 9 This is required for the first 20 m only (where off a sealed road) to prevent tracking of metal onto the road.
- 10 Some local roads may be metalled with the specific approval of the Council through the Resource Consent process.
- 11 There are a number of existing roads with legal road widths of 10m and 15m. These widths will be retained. The legal road width shown in Table 3.2 refers to any future roading development.
- 12 Sealing of the high side of a horizontal curve on a cul de sac or local road is optional. Should it be sealed then the minimum width is 0.3m.
- 13 A 3 to 1 feather edge pavement slope may be utilised with the specific approval of the Council through the Resource Consent process.

## 8.6.3 STRUCTURE PLANS

### 8.6.3.1 INTRODUCTION

- (1) Structure plans have been developed for the new growth areas that have been identified for residential and industrial purposes in Ngatea, Turua, Kerepehi, Paeroa, Waikino and Waihi. These will provide a development framework for future development and assist in coordinating subdivision in these areas.
- (2) The design of subdivisions in the urban zones needs to include provision for the future subdivision of adjoining land in order to ensure that urban development occurs in a coordinated and efficient manner.
- (3) The efficient and effective provision of infrastructure also needs to be built into subdivision design, to ensure health and safety requirements as well as long term operational and maintenance requirements are met. The structure plans provide a framework for this to be achieved.
- (4) The proposed road and pedestrian/cycleway linkages shown on the structure plans are based on the information available without detailed design work having been undertaken, and relate to topography and minimum subdivision lot size. They therefore show the general design principles to be followed:
  - (a) through roads, good linkages through out and with surrounding development
  - (b) provision for pedestrian and cycleways additional to the road network
  - (c) trunk mains to be laid through the structure plan areas to link into existing infrastructure.
- (5) Proposals to depart from the structure plan general design principles will be assessed as a Discretionary Activity, and the Council will have regard to the Purpose, Objectives and Policies of the Structure Plan.

## 8.6.4 APPENDIX 3: STRUCTURE PLAN – TURUA (RESIDENTIAL)

### 8.6.4.1 DESCRIPTION

- (1) This structure plan applies to the Residential Zoned land contained within three separate areas, generally along the western side of Turua, as follows:

Area A: Between Rata Street and Piako Road – Pt Sec 4 Blk III Waihou SD, Lots 34-55 and 60-69 DP 12596, Lots 14–18, 197–202 and 248–255 DP 16374 (12.54 hectares).

Area B: North of Raratuna Street – Lots 161-180, 138-155 DPS 12596 and Pt Sec 10 Block III Waihou SD (5.92 hectares).

Area C: South of Raratuna Street – Lot 1 DPS 50908 (2.02 hectares).

- (2) The areas are to be developed for residential purposes having regard to the following infrastructure requirements:

#### (a) Access

The roading and pedestrian/cycleway layout as shown in the structure plan for each of Areas A, B and C, ensures that the most suitable access connections to the existing roading network, internal circulation and access connections are provided that allows for multimodal forms of transport.

#### (b) Water

Area A is to be reticulated from the 225mm main on Hauraki Road and Areas B and C from the 100mm main in Raratuna Street with trunk mains of a sufficient size being installed, located so as to serve the whole of each area. The design for each of Areas A, B and C, and for each individual development or subdivision, is to implement this by providing for the reticulation of the whole structure plan area in a comprehensive and efficient manner, minimising the number of water mains and maximising the use of existing water infrastructure.

#### (c) Wastewater

Areas A, B and C are to be reticulated for sewage disposal with trunk mains of a sufficient size being installed, located so as to serve the whole of each area.

Area A is to be reticulated from the existing sewer main near its southern boundary (southern part) and a new main is to be laid to serve the northern part, connecting to existing Sewer Main 102182 via a new manhole.

Area B is to be reticulated via a new main to be connected to existing Manhole 102221.

Area C is to be reticulated via a new main to be connected to existing Manhole 102225.

The design for each individual development or subdivision is to implement this by providing for the servicing of the whole structure plan area in a comprehensive and efficient manner, minimising the number of main sewers, rising mains and pump stations required and including appropriate linkages to the existing reticulation.

## **(d) Stormwater**

Areas A, B and C are to be reticulated for stormwater disposal by the piping of all open drains and installation of trunk mains of a sufficient size, located so as to serve the whole of each area.

The design for each individual development or subdivision is to be such as to readily provide for the servicing of the whole structure plan area in a comprehensive and efficient manner.

### **8.6.4.2 ISSUES**

- (1)** To provide depth to Turua and avoid ribbon development along Hauraki Road, growth needs to be directed to the west. However the low lying nature of the surrounding land and the high quality of the soils for productive purposes constrains the area available for residential development. Accordingly, the undeveloped land within the general confines of the town needs to be used wisely. In addition, residential land development needs to be undertaken giving effect to good quality urban design principles.
- (2)** Unplanned development of this Greenfield area could result in:
  - (a)** Inefficiencies in the provision of infrastructure and longer term operation and maintenance costs;
  - (b)** Access provisions for all modes of transport giving poor connectivity and linkages to the existing residential area, recreation reserve and the road network and poor traffic flows through the new residential area.

### **8.6.4.3 PURPOSE**

- (1)** The structure plan seeks to ensure that these residential areas are developed in a well planned and comprehensive manner having regard to:
  - (a)** Good quality urban design principles;
  - (b)** Transportation links;
  - (c)** Infrastructure;
  - (d)** Efficient use of residential land.

### **8.6.4.4 OBJECTIVES**

- (1)** A safe, useable and attractive residential environment is provided.
- (2)** Cost efficient and effective infrastructure is provided.

### **8.6.4.5 POLICIES**

- (1)** Ensuring that good quality urban design principles for residential development are implemented.

- (2) Requiring residential development infrastructure to be undertaken in an integrated and strategic manner to give effect to Objective 8.6.4.4(2).

#### 8.6.4.6 ACTIVITY STATUS AND RULES FOR SUBDIVISION

- (1) *Subdivision* of Areas A, B and C in accordance with the provisions of the Turua (Residential) Structure Plan Description and Map shall be a *Controlled Activity*, provided that it also complies with:
- (a) *Subdivision rules* in Section 9.0;
  - (b) Specific and District Wide provisions in Section 7.0;
  - (c) District Wide Performance Standards in Section 8.0.
- (2) *Subdivision* of Areas A, B and C not in accordance with Rules 8.6.4.6(1) (a), (b) or (c) shall have the same activity status as that specified in either Section 7.0, 8.0 or 9.0
- (3) *Subdivision* of Areas A, B and C not in accordance with the details of the Structure Plan Description and Map shall be a *Discretionary Activity*.

#### 8.6.4.7 ACTIVITY STATUS AND RULES FOR DEVELOPMENT

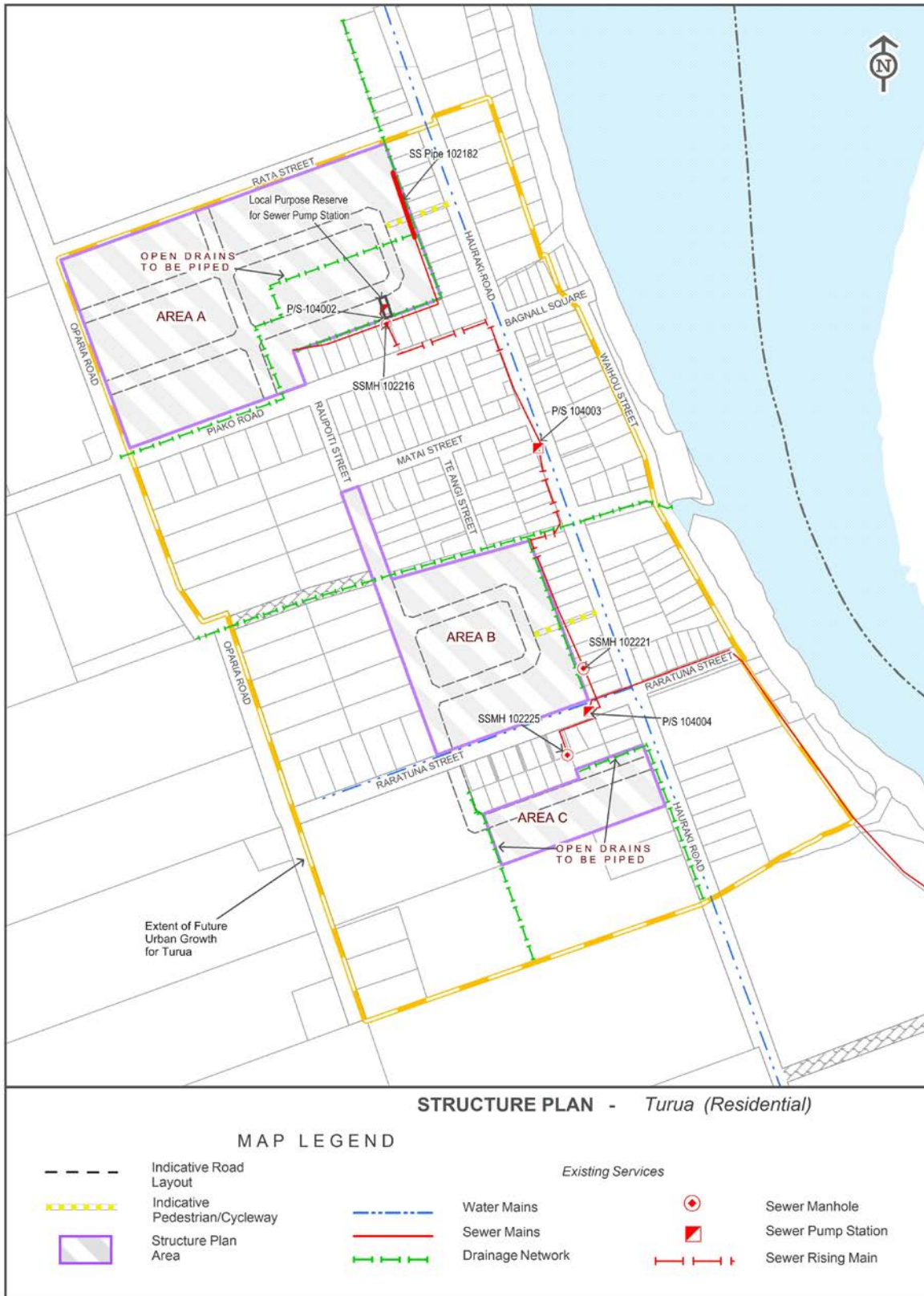
- (1) Any activity listed as a *Permitted Activity* in Rule 5.7.4.1 Residential Zone is a *Permitted Activity* in the Turua (Residential) Structure Plan area, provided that the development:
- (a) Is in accordance with and within land that has been subdivided under the provisions of Rule 8.6.4.6 and *Certificates of Title* have been issued;
  - (b) Complies with the *Zone Development Standards* specified in Rule 5.7.5;
  - (c) Complies with the Activity Specific Standards specified in Rule 5.7.6;
  - (d) Complies with the Conservation and Heritage provisions in Section 6.0;
  - (e) Complies with the Specific and District Wide provisions in Section 7.0;
  - (f) Complies with the District Wide Performance Standards in Section 8.0.
- (2) Any activity listed as a *Controlled Activity* in Rule 5.7.4.2 Residential Zone is a *Controlled Activity* in the Turua (Residential) Structure Plan area, provided that the development:
- (a) Is in accordance with and within land that has been subdivided under the provisions of Rule 8.6.4.6 and *Certificates of Title* have been issued;
  - (b) Complies with the *Zone Development Standards* specified in Rule 5.7.5;
  - (c) Complies with the Activity Specific Standards specified in Rule 5.7.6;
  - (d) Complies with the Conservation and Heritage provisions in Section 6.0;
  - (e) Complies with the Specific and District Wide provisions in Section 7.0;
  - (f) Complies with the District Wide Performance Standards in Section 8.0.

*Conditions* may be imposed in relation to the matters over which control has been reserved as specified in Rule 5.7.4.2 and the following:



- (i) Whether the development assists in the implementation of integrated infrastructure to serve the whole Turua (Residential) Structure Plan area.
- (3) Any activity listed as a *Restricted Discretionary Activity* in Rule 5.7.4.3 Residential Zone is a *Restricted Discretionary Activity* in the Turua (Residential) Structure Plan area, provided that the development:
- (a) Is in accordance with and within land that has been subdivided under the provisions of Rule 8.6.4.6 and *Certificates of Title* have been issued;
  - (b) Complies with the *Restricted Discretionary Zone Development Standards* specified in Rule 5.7.5;
  - (c) Complies with the Activity Specific Standards specified in Rule 5.7.6;
  - (d) Complies with the Conservation and Heritage provisions in Section 6.0;
  - (e) Complies with the Specific and District Wide provisions in Section 7.0;
  - (f) Complies with the District Wide Performance Standards in Section 8.0.
- Conditions* may be imposed in relation to the matters over which the *Council* has exercised its discretion as set out in Rule 5.7.4.3.
- (4) The following are a *Discretionary Activity* in the Turua (Residential) Structure Plan area:
- (a) Any *Permitted, Controlled or Restricted Discretionary Activity* listed in Rules 8.6.4.7(1) – (3) that is located on land that has not been subdivided under the provisions of Rule 8.6.4.6 and/or *Certificates of Title* have not been issued;
  - (b) Any *Discretionary Activity* listed in Rule 5.7.4.4 Residential Zone.
- (5) The following are a *Non Complying Activity* in the Turua (Residential) Structure Plan area:
- (a) Any *Non Complying Activity* listed in Rule 5.7.4.5 Residential Zone.
- (6) The following are a *Prohibited Activity* in the Turua (Residential) Structure Plan area:
- (a) Any *Prohibited Activity* listed in Rule 5.7.4.6 Residential Zone.

8.6.4.8 STRUCTURE PLAN MAP – TURUA (RESIDENTIAL)



## 8.6.5 APPENDIX 4: STRUCTURE PLAN – NGATEA NORTH (RESIDENTIAL)

### 8.6.5.1 DESCRIPTION

- (1) This structure plan applies to the Residential zoned land contained within Lots 1-3 DPS 88526, Lot 1 DP 362637, and part of Lot 2 DP 362637 being an area of 21.47 hectares on the northern side of Ngatea, to the east of Pipiroa Road and north of Mahana Road.
- (2) The area is to be developed for residential purposes having regard to the following infrastructure requirements:

#### (a) Access

The roading and pedestrian/cycleway layout as shown in the structure plan ensures that the most suitable access connections to the existing roading network, internal circulation and access connections are provided to allow for multimodal forms of transport.

#### (b) Water

The area is to be reticulated from the existing water mains on Pipiroa Road and/or Mahana Road with trunk mains of a sufficient size being installed, located so as to serve the entire area. The design for each individual development or subdivision is to implement this by providing for the reticulation of the whole structure plan area in a comprehensive and efficient manner, minimising the number of water mains and maximising the use of existing water infrastructure.

#### (c) Wastewater

The area is to be reticulated for sewage disposal, with trunk mains of a sufficient size being installed, located so as to serve the entire area, and link appropriately to the required pump station and existing reticulation. The design for each individual development or subdivision is to implement this by providing for the servicing of the whole structure plan area in a comprehensive and efficient manner, minimising the number of main sewers, rising mains and pump stations required and including appropriate linkages to the existing reticulation.

#### (d) Stormwater

The area is to be reticulated for stormwater disposal, with the piping of existing open drains (other than the Paul Leonard drain), and installation of trunk mains of a sufficient size, located so as to serve the entire area. The design for each individual development or subdivision is to implement this by providing for the servicing of the whole structure plan area in a comprehensive and efficient manner, minimising the number of stormwater mains required. Lots 1 - 2 DPS 88526 and the area of Lot 3 DPS 88526 adjacent to Lot 2 DPS 88526 are to be reticulated to the Council Land Drainage System to the north of the area. The balance area of Lot 3 DPS 88526 and Lots 1 and 2 DP 362637 are to be reticulated to the Paul Leonard drain along the area's southern boundary.

### 8.6.5.2 ISSUES

- (1) Land suitable for residential development in Ngatea is constrained by the Piako River to the east and the low lying nature of the land. Accordingly, the land that is available for residential

development needs to be used wisely. In addition, residential land development needs to be undertaken giving effect to good quality urban design principles.

- (2) Unplanned development of this Greenfield area could result in:
- (a) Inefficiencies in the provision of infrastructure and longer term operation and maintenance costs;
  - (b) Access provisions for all modes of transport giving poor connectivity and linkages to the existing residential area and the road network and poor traffic flows through the new residential area.

### 8.6.5.3 PURPOSE

- (1) The structure plan seeks to ensure that this residential area is developed in a well planned and comprehensive manner having regard to:
- (a) Quality urban design principles;
  - (b) Multimodal transportation links;
  - (c) Infrastructure;
  - (d) Efficient use of residential land.

### 8.6.5.4 OBJECTIVES

- (1) A safe, useable and attractive residential environment is provided.
- (2) Cost efficient and effective infrastructure is provided.

### 8.6.5.5 POLICIES

- (1) Ensuring that good quality urban design principles for residential development are implemented.
- (2) Requiring residential development infrastructure to be undertaken in an integrated and strategic manner to give effect to Objective 8.6.5.4(2).

### 8.6.5.6 ACTIVITY STATUS AND RULES FOR SUBDIVISION

- (1) *Subdivision* of land within Lots 1-3 DPS 88526, Lot 1 DP 362637, and part of Lot 2 DP 362637 in accordance with the provisions of the Ngatea North (Residential) Structure Plan Description and Map shall be a *Controlled Activity*, provided that it also complies with:
- (a) *Subdivision rules* in Section 9.0;
  - (b) Specific and District Wide provisions in Section 7.0;
  - (c) District Wide Performance Standards in Section 8.0.

- (2) *Subdivision* of land within Lots 1-3 DPS 88526, Lot 1 DP 362637, and part of Lot 2 DP 362637 not in accordance with Rules 8.6.5.6 (1)(a) (b) or (c) shall have the same activity status as that specified in either Section 7.0, 8.0 or 9.0.
- (3) *Subdivision* of land within Lots 1-3 DPS 88526, Lot 1 DP 362637, and part of Lot 2 DP 362637 not in accordance with the details of the Structure Plan Description and Map shall be a *Discretionary Activity*.

#### 8.6.5.7 ACTIVITY STATUS AND RULES FOR DEVELOPMENT

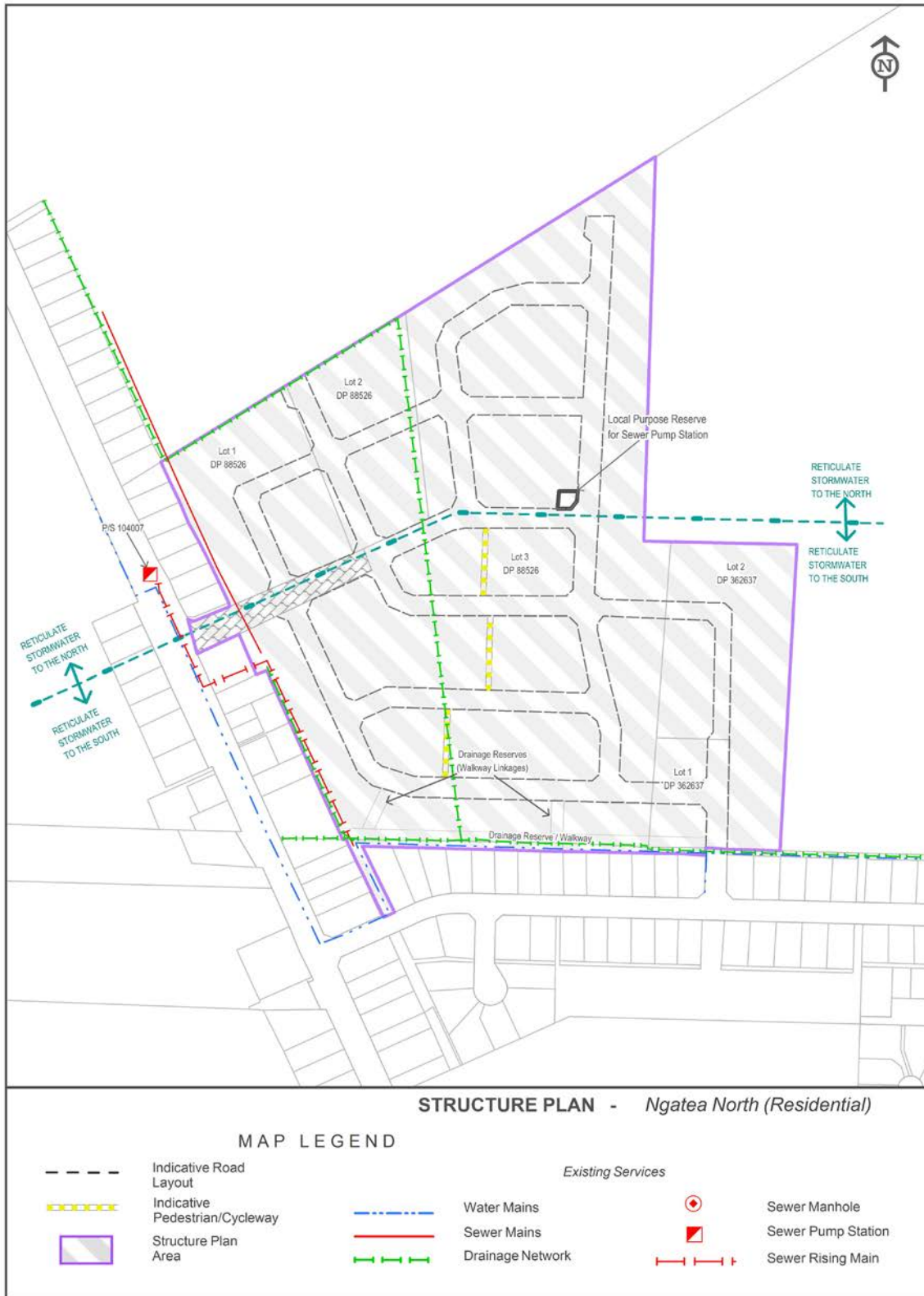
- (1) Any activity listed as a *Permitted Activity* in Rule 5.7.4.1 Residential Zone is a *Permitted Activity* in the Ngatea North (Residential) Structure Plan area, provided that the development:
- (a) Is in accordance with and within land that has been subdivided under the provisions of Rule 8.6.5.6 and *Certificates of Title* have been issued;
  - (b) Complies with the *Zone Development Standards* specified in Rule 5.7.5;
  - (c) Complies with the Activity Specific Standards specified in Rule 5.7.6;
  - (d) Complies with the Conservation and Heritage provisions in Section 6.0;
  - (e) Complies with the Specific and District Wide provisions in Section 7.0;
  - (f) Complies with the District Wide Performance Standards in Section 8.0.
- (2) Any activity listed as a *Controlled Activity* in Rule 5.7.4.2 Residential Zone is a *Controlled Activity* in the Ngatea North (Residential) Structure Plan area, provided that the development:
- (a) Is in accordance with and within land that has been subdivided under the provisions of Rule 8.6.5.6 and *Certificates of Title* have been issued;
  - (b) Complies with the *Zone Development Standards* specified in Rule 5.7.5;
  - (c) Complies with the Activity Specific Standards specified in Rule 5.7.6;
  - (d) Complies with the Conservation and Heritage provisions in Section 6.0;
  - (e) Complies with the Specific and District Wide provisions in Section 7.0;
  - (f) Complies with the District Wide Performance Standards in Section 8.0.
- Conditions* may be imposed in relation to the matters over which control has been reserved as specified in Rule 5.7.4.2 and the following:
- (i) Whether the development assists in the implementation of integrated infrastructure to serve the whole Ngatea North (Residential) Structure Plan area.
- (3) Any activity listed as a *Restricted Discretionary Activity* in Rule 5.7.4.3 Residential Zone is a *Restricted Discretionary Activity* in the Ngatea North (Residential) Structure Plan area, provided that the development:
- (a) Is in accordance with and within land that has been subdivided under the provisions of Rule 8.6.5.6 and *Certificates of Title* have been issued;
  - (b) Complies with the *Restricted Discretionary Zone Development Standards* specified in Rule 5.7.5;
  - (c) Complies with the Activity Specific Standards specified in Rule 5.7.6;

- (d) Complies with the Conservation and Heritage provisions in Section 6.0;
- (e) Complies with the Specific and District Wide provisions in Section 7.0;
- (f) Complies with the District Wide Performance Standards in Section 8.0.

*Conditions* may be imposed in relation to the matters over which the *Council* has exercised its discretion as set out in Rule 5.7.4.3

- (4) The following are a *Discretionary Activity* in the Ngatea North (Residential) Structure Plan area:
  - (a) Any *Permitted, Controlled or Restricted Discretionary Activity* listed in Rules 8.6.5.7(1) – (3) that is located on land that has not been subdivided under the provisions of Rule 8.6.5.6 and/or *Certificates of Title* have not been issued;
  - (b) Any *Discretionary Activity* listed in Rule 5.7.4.4 Residential Zone.
- (5) The following are a *Non Complying Activity* in the Ngatea North (Residential) Structure Plan area:
  - (a) Any *Non Complying Activity* listed in Rule 5.7.4.5 Residential Zone.
- (6) The following are a *Prohibited Activity* in the Ngatea North (Residential) Structure Plan area:
  - (a) Any *Prohibited Activity* listed in Rule 5.7.4.6 Residential Zone.

8.6.5.8 STRUCTURE PLAN MAP – NGATEA NORTH (RESIDENTIAL)



## 8.6.6 APPENDIX 5: STRUCTURE PLAN – NGATEA SOUTH (RESIDENTIAL)

### 8.6.6.1 DESCRIPTION

- (1) This structure plan applies to the Residential zoned land contained within Lot 1 DP 376838 being an area of 19.82 hectares on the southern side of Ngatea.
- (2) The area is to be developed for residential purposes having regard to the following infrastructure requirements:

#### (a) Access

The roading and pedestrian/cycleway layout as shown in the structure plan ensures that the most suitable access connections to the existing roading network, internal circulation and access connections are provided to allow for multimodal forms of transport.

#### (b) Water

The area is to be reticulated from the existing water mains on Kaihere Road and Benner Drive with trunk mains of a sufficient size being installed, located so as to serve the entire area. The design for each individual development or subdivision is to implement this by providing for the reticulation of the whole structure plan area in a comprehensive and efficient manner, minimising the number of water mains and maximising the use of existing water infrastructure.

#### (c) Wastewater

The area is to be reticulated for sewage disposal, with trunk mains of a sufficient size being installed, located so as to serve the entire area, and link appropriately to the required pump station and existing treatment plant. The design for each individual development or subdivision is to implement this by providing for the servicing of the whole structure plan area in a comprehensive and efficient manner, minimising the number of main sewers, rising mains and pump stations required.

#### (d) Stormwater

The area is to be reticulated for stormwater disposal, with the piping of existing open drains, and installation of trunk mains of a sufficient size, located so as to serve the entire area. The design for each individual development or subdivision is to implement this by providing for the servicing of the whole structure plan area in a comprehensive and efficient manner, minimising the number of stormwater mains required. The stormwater is to be discharged to an approved outlet.

### 8.6.6.2 ISSUES

- (1) Land suitable for residential development in Ngatea is constrained by the Piako River to the east and the low lying nature of the land. Accordingly, the land that is available for residential development needs to be used wisely. In addition, residential land development needs to be undertaken giving effect to good quality urban design principles.
- (2) Unplanned development of this Greenfield area could result in:
  - (a) Inefficiencies in the provision of infrastructure and longer term operation and maintenance costs;



- (b) Access provisions for all modes of transport giving poor connectivity and linkages to the existing residential area and the road network and poor traffic flows through the new residential area.

### 8.6.6.3 PURPOSE

- (1) The structure plan seeks to ensure that this residential area is developed in a well planned and comprehensive manner having regard to:
  - (a) Quality urban design principles;
  - (b) Multimodal transportation links;
  - (c) Infrastructure;
  - (d) Efficient use of residential land.

### 8.6.6.4 OBJECTIVES

- (1) A safe, useable and attractive residential environment is provided.
- (2) Cost efficient and effective infrastructure is provided.

### 8.6.6.5 POLICIES

- (1) Ensuring that good quality urban design principles for residential development are implemented.
- (2) Requiring residential development infrastructure to be undertaken in an integrated and strategic manner to give effect to Objective 8.6.6.4(2).

### 8.6.6.6 ACTIVITY STATUS AND RULES FOR SUBDIVISION

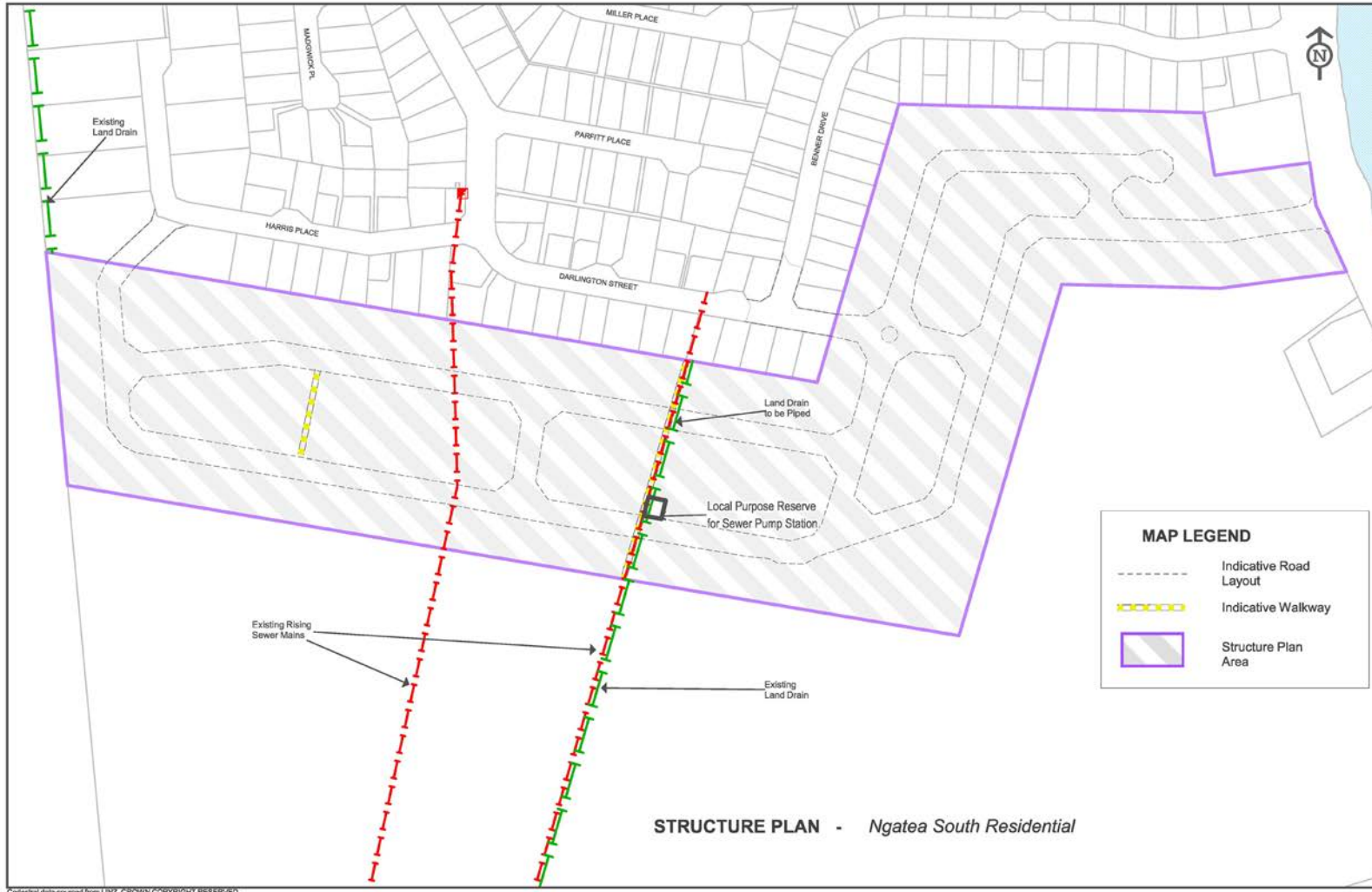
- (1) *Subdivision* of land within Lot 1 DP 376838 in accordance with the provisions of the Ngatea South (Residential) Structure Plan Description and Map shall be a *Controlled Activity*, provided that it also complies with:
  - (a) *Subdivision rules* in Section 9.0;
  - (b) Specific and District Wide provisions in Section 7.0;
  - (c) District Wide Performance Standards in Section 8.0.
- (2) *Subdivision* of land within Lot 1 DP 376838 not in accordance with Rules 8.6.6.6(1)(a) (b) or (c) shall have the same activity status as that specified in either Section 7.0, 8.0 or 9.0.
- (3) *Subdivision* of land within Lot 1 DP 376838 not in accordance with the details of the Structure Plan Description and Map shall be a *Discretionary Activity*.

### 8.6.6.7 ACTIVITY STATUS AND RULES FOR DEVELOPMENT

- (1) Any activity listed as a *Permitted Activity* in Rule 5.7.4.1 Residential Zone is a *Permitted Activity* in the Ngatea South (Residential) Structure Plan area, provided that the development:
- (a) Is in accordance with and within land that has been subdivided under the provisions of Rule 8.6.6.6 and *Certificates of Title* have been issued;
  - (b) Complies with the *Zone Development Standards* specified in Rule 5.7.5;
  - (c) Complies with the Activity Specific Standards specified in Rule 5.7.6;
  - (d) Complies with the Conservation and Heritage provisions in Section 6.0;
  - (e) Complies with the Specific and District Wide provisions in Section 7.0;
  - (f) Complies with the District Wide Performance Standards in Section 8.0.
- (2) Any activity listed as a *Controlled Activity* in Rule 5.7.4.2 Residential Zone is a *Controlled Activity* in the Ngatea South (Residential) Structure Plan area, provided that the development:
- (a) Is in accordance with and within land that has been subdivided under the provisions of Rule 8.6.6.6 and *Certificates of Title* have been issued;
  - (b) Complies with the *Zone Development Standards* specified in Rule 5.7.5;
  - (c) Complies with the Activity Specific Standards specified in Rule 5.7.6;
  - (d) Complies with the Conservation and Heritage provisions in Section 6.0;
  - (e) Complies with the Specific and District Wide provisions in Section 7.0;
  - (f) Complies with the District Wide Performance Standards in Section 8.0.
- Conditions* may be imposed in relation to the matters over which control has been reserved as specified in Rule 5.7.4.2 and the following:
- (i) Whether the development assists in the implementation of integrated infrastructure to serve the whole Ngatea South (Residential) Structure Plan area.
- (3) Any activity listed as a *Restricted Discretionary Activity* in Rule 5.7.4.3 Residential Zone is a *Restricted Discretionary Activity* in the Ngatea South (Residential) Structure Plan area, provided that the development:
- (a) Is in accordance with and within land that has been subdivided under the provisions of Rule 8.6.6.6 and *Certificates of Title* have been issued;
  - (b) Complies with the *Restricted Discretionary Zone Development Standards* specified in Rule 5.7.5;
  - (c) Complies with the Activity Specific Standards specified in Rule 5.7.6;
  - (d) Complies with the Conservation and Heritage provisions in Section 6.0;
  - (e) Complies with the Specific and District Wide provisions in Section 7.0;
  - (f) Complies with the District Wide Performance Standards in Section 8.0.
- Conditions* may be imposed in relation to the matters over which the *Council* has exercised its discretion as set out in Rule 5.7.4.3

- (4) The following are a *Discretionary Activity* in the Ngatea South (Residential) Structure Plan area:
- (a) Any *Permitted, Controlled or Restricted Discretionary Activity* listed in Rules 8.6.6.7(1) – (3) that is located on land that has not been subdivided under the provisions of Rule 8.6.6.6 and/or *Certificates of Title* have not been issued;
  - (b) Any *Discretionary Activity* listed in Rule 5.7.4.4 Residential Zone.
- (5) The following are a *Non Complying Activity* in the Ngatea South (Residential) Structure Plan area:
- (a) Any *Non Complying Activity* listed in Rule 5.7.4.5 Residential Zone.
- (6) The following are a *Prohibited Activity* in the Ngatea South (Residential) Structure Plan area:
- (a) Any *Prohibited Activity* listed in Rule 5.7.4.6 Residential Zone.

8.6.6.8 STRUCTURE PLAN MAP – NGATEA SOUTH (RESIDENTIAL)



## 8.6.7 APPENDIX 6: STRUCTURE PLAN – KEREPEHI NORTH (INDUSTRIAL)

### 8.6.7.1 DESCRIPTION

- (1) This structure plan applies to Tiritiri 2A1A and Tiritiri 3A Blk VI Waihou Survey District, being an area of 5.7 hectares, on the northern side of Kerepehi, west of State Highway 2 and north of Kerepehi Town Road.
- (2) The area is to be developed for industrial purposes having regard to the following infrastructure requirements:

#### (a) Access

The roading layout as shown in the structure plan ensures that the most suitable access connections to the existing roading network, internal circulation and access connections are provided.

#### (b) Water

The area is to be reticulated from the main on Kerepehi Town Road, with a trunk main(s) of a sufficient size being installed, located so as to serve the entire area. The design for each individual development or subdivision is to implement this by providing for the reticulation of the whole structure plan area in a comprehensive and efficient manner, minimising the number of water mains and maximising the use of existing water infrastructure.

#### (c) Wastewater

The area is to be reticulated for sewage disposal, with a trunk main(s) of sufficient size being installed, located so as serve the entire area. The design for each individual development or subdivision is to implement this by providing for the servicing of the whole structure plan area in a comprehensive and efficient manner, minimising the number of main sewers, rising mains and pump stations required and including appropriate linkages to the existing reticulation.

#### (d) Stormwater

The design for each individual development or subdivision is to be such as to readily provide for the servicing (via a piped reticulation) of the whole structure plan area in a comprehensive and efficient manner.

### 8.6.7.2 ISSUES

- (1) Land suitable for industrial development in Kerepehi is constrained by the location of existing residential development, the State Highway and surrounding lower lying rural land. Accordingly the land that is available for industrial development needs to be used wisely. In addition industrial land development needs to be undertaken giving effect to good quality urban design principles.
- (2) Unplanned development of this Greenfield area could result in:
  - (a) Inefficiencies in the provision of infrastructure and longer term operation and maintenance costs;

- (b) Access provisions for all modes of transport giving poor connectivity and linkages to the existing industrial area and the road network and poor traffic flows through the new industrial area.

#### 8.6.7.3 PURPOSE

- (1) The structure plan seeks to ensure that this industrial area is developed in a well planned and comprehensive manner having regard to:
  - (a) Quality urban design principles;
  - (b) Transportation links;
  - (c) Infrastructure;
  - (d) Efficient use of industrial land.

#### 8.6.7.4 OBJECTIVES

- (1) A safe, useable and attractive industrial environment is provided.
- (2) Cost efficient and effective infrastructure is provided.

#### 8.6.7.5 POLICIES

- (1) Ensuring that good urban design principles for industrial development are implemented.
- (2) Requiring industrial development infrastructure to be undertaken in an integrated and strategic manner to give effect to Objective 8.6.7.4(2).

#### 8.6.7.6 ACTIVITY STATUS AND RULES FOR SUBDIVISION

- (1) *Subdivision* of Tiritiri 2A1A and Tiritiri 3A Blk VI Waihou Survey District in accordance with the provisions of the Kerepehi North (Industrial) Structure Plan Description and Map shall be a *Controlled Activity*, provided that it also complies with:
  - (a) *Subdivision rules* in Section 9.0;
  - (b) Specific and District Wide provisions in Section 7.0;
  - (c) District Wide Performance Standards in Section 8.0.
- (2) *Subdivision* of Tiritiri 2A1A and Tiritiri 3A Blk VI Waihou Survey District not in accordance with Rules 8.6.7.6 (1) (a), (b) or (c) shall have the same activity status as that specified in either Section 7.0, 8.0 or 9.0.
- (3) *Subdivision* of Tiritiri 2A1A and Tiritiri 3A Blk VI Waihou Survey District not in accordance with the details of the Structure Plan Description and Map shall be a *Discretionary Activity*.

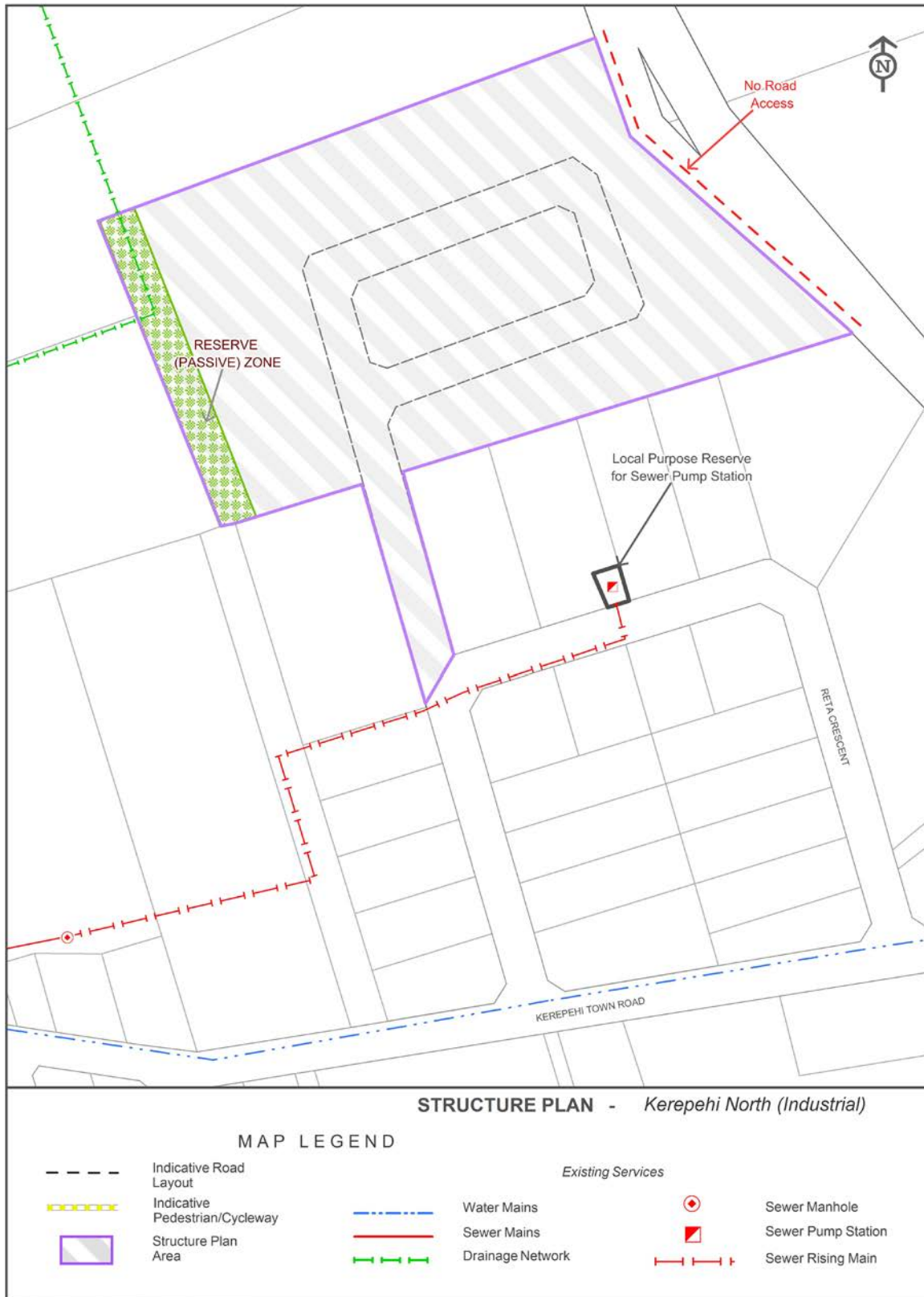
### 8.6.7.7 ACTIVITY STATUS AND RULES FOR DEVELOPMENT

- (1) Any activity listed as a *Permitted Activity* in Rule 5.12.4.1 Industrial Zone is a *Permitted Activity* in the Kerepehi North (Industrial) Structure Plan area, provided that the development:
- (a) Is in accordance with and within land that has been subdivided under the provisions of Rule 8.6.7.6 and *Certificates of Title* have been issued;
  - (b) Complies with the *Zone Development Standards* specified in Rule 5.12.5;
  - (c) Complies with the Activity Specific Standards specified in Rule 5.12.6;
  - (d) Complies with the Conservation and Heritage provisions in Section 6.0;
  - (e) Complies with the Specific and District Wide provisions in Section 7.0;
  - (f) Complies with the District Wide Performance Standards in Section 8.0.
- (2) Any activity listed as a *Controlled Activity* in Rule 5.12.4.2 Industrial Zone is a *Controlled Activity* in the Kerepehi North (Industrial) Structure Plan area, provided that the development:
- (a) Is in accordance with and within land that has been subdivided under the provisions of Rule 8.6.7.6 and *Certificates of Title* have been issued;
  - (b) Complies with the *Zone Development Standards* specified in Rule 5.12.5;
  - (c) Complies with the Activity Specific Standards specified in Rule 5.12.6;
  - (d) Complies with the Conservation and Heritage provisions in Section 6.0;
  - (e) Complies with the Specific and District Wide provisions in Section 7.0;
  - (f) Complies with the District Wide Performance Standards in Section 8.0.
- Conditions* may be imposed in relation to the matters over which control has been reserved as specified in Rule 5.12.4.2 and the following:
- (i) Whether the development assists in the implementation of integrated infrastructure to serve the whole Kerepehi North (Industrial) Structure Plan area.
- (3) Any activity listed as a *Restricted Discretionary Activity* in Rule 5.12.4.3 Industrial Zone is a *Restricted Discretionary Activity* in the Kerepehi North (Industrial) Structure Plan area, provided that the development:
- (a) Is in accordance with and within land that has been subdivided under the provisions of Rule 8.6.7.6 and *Certificates of Title* have been issued;
  - (b) Complies with the *Restricted Discretionary Zone Development Standards* specified in Rule 5.12.5;
  - (c) Complies with the Activity Specific Standards specified in Rule 5.12.6;
  - (d) Complies with the Conservation and Heritage provisions in Section 6.0;
  - (e) Complies with the Specific and District Wide provisions in Section 7.0;
  - (f) Complies with the District Wide Performance Standards in Section 8.0.
- Conditions* may be imposed in relation to the matters over which the *Council* has exercised its discretion as set out in Rule 5.12.4.3

- (4) The following are a *Discretionary Activity* in the Kerepehi North (Industrial) Structure Plan area:
- (a) Any *Permitted, Controlled or Restricted Discretionary Activity* listed in Rules 8.6.7.7(1) – (3) that is located on land that has not been subdivided under the provisions of Rule 8.6.7.6 and/or *Certificates of Title* have not been issued;
  - (b) Any *Discretionary Activity* listed in Rule 5.12.4.4 Industrial Zone.
- (5) The following are a *Non Complying Activity* in the Kerepehi North (Industrial) Structure Plan area:
- (a) Any *Non Complying Activity* listed in Rule 5.12.4.5 Industrial Zone.
- (6) The following are a *Prohibited Activity* in the Kerepehi North (Industrial) Structure Plan area:
- (a) Any *Prohibited Activity* listed in Rule 5.12.4.6 Industrial Zone.



8.6.7.8 STRUCTURE PLAN MAP – KEREPEHI NORTH (INDUSTRIAL)



## 8.6.8 APPENDIX 7: STRUCTURE PLAN – KEREPEHI SOUTH (INDUSTRIAL)

### 8.6.8.1 DESCRIPTION

- (1) This structure plan applies to the land shown on the Structure Plan Map in 8.6.8.10. It contains the land legally described as:
- Lot 14 DPS 46964 1419m<sup>2</sup> zoned Residential; and
  - Lot 35 DPS 46964 8110m<sup>2</sup>
  - Lot 21 DPS 57966 1.9900 ha
  - Lot 3 DP 314630 577m<sup>2</sup>
  - Lot 4 DPS 59607 3.8435 ha
  - Lot 2 DPS 59607 3.7375 ha
  - Lot 3 DPS 59607 2131m<sup>2</sup>
  - PT Section 16 Block VII Kerepehi Township 6.4954 ha which are zoned Industrial
- (2) This land is located on the southern side of Kerepehi Town Road west of State Highway 2 and east of Kaikahu Road.
- (3) The land has frontages on to:
- Kerepehi Town Road
  - State Highway 2
  - Ponui Avenue
  - Rakino Drive
  - Motuihe Lane; and
  - Kaikahu Road.
- (4) The area is to be developed for industrial purposes having regard to the following infrastructure requirements:
- (a) Access**  
The structure plan identifies suitable locations for access to and from the existing road network. Some access points are identified as being suitable for light vehicles only.
- (b) Water**  
The area is reticulated by the main water supply system. Development and subdivision will be required to connect to this supply.
- (c) Wastewater**  
The area is reticulated for sewage disposal. Development and subdivision will be required to connect to this system.
- (d) Stormwater**  
The area is served with a stormwater system of piped and open drains. Development and subdivision will be required to connect to this system.
- A new open stormwater drain has been provided to enhance drainage for residential properties along the western boundary of the site.

**8.6.8.2 ISSUES**

- (1) The land has provided a significant industrial land base and supporting infrastructure for the town of Kerepehi and for the District and wider region for several decades. It provides a significant physical resource for present and future generations. Existing buildings and infrastructure provide a valuable resource for industrial activities to establish and expand. There is also a substantial area of the site that is available for industrial activities to expand on to and for new buildings and structures to be established. The sustainable use of the land will depend on establishing a framework within which industrial activity can continue and can expand.
- (2) To provide for sustainable industrial development, use and subdivision of the area a framework needs to be in place to recognise and provide for:
  - (a) the low lying nature of the land and its surroundings and the need to safeguard the stormwater and land drainage system at the site boundaries;
  - (b) the site's interface with State Highway 2, Kerepehi Domain, residential properties and residential streets;
  - (c) the location of the Council's Water Treatment Plant and Storage on the adjacent site designated for Water Treatment Purposes and to provide for its future expansion;
  - (d) the safe and efficient operation of State Highway 2.

**8.6.8.3 PURPOSE**

- (1) The structure plan seeks to ensure that this industrial area is developed in a well planned and comprehensive manner having regard to:
  - (a) Appropriate urban design principles that take account of the existing industrial character of the site and its location within the Kerepehi settlement, in particular the amenities of the adjacent Residential and Reserve zones;
  - (b) Transport links within the town and with the state highway network;
  - (c) Infrastructure; and
  - (d) Effective and efficient use of the industrial land and buildings.

**8.6.8.4 OBJECTIVE**

- (1) Provide for the efficient and effective use of the existing industrial environment (land, buildings and infrastructure) whilst safeguarding the amenities of the adjacent reserve and residential environments and the streetscape appearance from the adjacent state highway.

**8.6.8.5 POLICIES**

- (1) Industrial subdivision, use and development is integrated with existing road networks and infrastructure.

- (2) Industrial use and development is undertaken in accordance with urban design principles applied to the site to give effect to Objective 8.6.8.4(1).

#### 8.6.8.6 ACTIVITY STATUS AND RULES FOR SUBDIVISION

- (1) *Subdivision* of Lot 35 DPS 46964, Lot 21 DPS 57966, Lot 3 DP 314630, Lots 2, 3 & 4 DPS 59607 and PT Section 16 Block VII Kerepehi Township in accordance with the provisions of the Kerepehi South (Industrial) Structure Plan Description and Map shall be a *Controlled Activity*, provided that it also complies with:
- (a) *Subdivision rules* in Section 9.0;
  - (b) Specific and District Wide provisions in Section 7.0;
  - (c) District Wide Performance Standards in Section 8.0.
- (2) *Subdivision* of Lot 35 DPS 46964, Lot 21 DPS 57966, Lot 3 DP 314630, Lots 2, 3 & 4 DPS 59607 and PT Section 16 Block VII Kerepehi Township not in accordance with Rules 8.6.8.6(1)(a), (b) or (c) shall have the same activity status as that specified in either Section 7.0, 8.0 or 9.0, provided that the *subdivision* is in accordance with the provisions of the Kerepehi South (Industrial) Structure Plan Description and Map.
- (3) *Subdivision* of Lot 35 DPS 46964, Lot 21 DPS 57966, Lot 3 DP 314630, Lots 2, 3 & 4 DPS 59607 and PT Section 16 Block VII Kerepehi Township not in accordance with the details of the Structure Plan Description and Map shall be a *Discretionary Activity*.
- The *Controlled Activity* Assessment Matters in Rule 9.5 or the *Discretionary Activity* Assessment Criteria in Rule 9.6 shall be used to assess the *subdivision* as applicable.
- (4) *Subdivision* of Lot 14 DPS 46964 shall be a *Non Complying Activity*.

#### 8.6.8.7 ACTIVITY STATUS AND RULES FOR DEVELOPMENT

- (1) Any activity listed as a *Permitted Activity* in Rule 5.12.4.1 Industrial Zone is a *Permitted Activity* in the Kerepehi South Industrial Structure Plan area, provided that the development:
- (a) Complies with the *Zone Development Standards* specified in Rule 5.12.5; except that the setback standards as shown on the Structure Plan map shall apply and override the minimum *yard* standards specified in Rule 5.12.5;
  - (b) Complies with the Activity Specific Standards specified in Rule 5.12.6;
  - (c) Complies with the Structure Plan Activity Specific Standards in Rule 8.6.8.8;
  - (d) Complies with the Conservation and Heritage provisions in Section 6.0;
  - (e) Complies with the Specific and District Wide provisions in Section 7.0; and
  - (f) Complies with the District Wide Performance Standards in Section 8.0, except where the standards in Rule 8.6.8.8 are more restrictive.
- (2) Any activity listed as a *Restricted Discretionary Activity* in Rule 5.12.4.3 Industrial Zone is a *Restricted Discretionary Activity* in the Kerepehi South (Industrial) Structure Plan area, provided that the development:

- (a) Complies with the *Restricted Discretionary Zone Development Standards* specified in Rule 5.12.5; except that the setback standards as shown on the Structure Plan map shall apply and override the minimum *yard* standards specified in Rule 5.12.5;
- (b) Complies with the Activity Specific Standards specified in Rule 5.12.6 and the Structure Plan Activity Specific Standards in Rule 8.6.8.8;
- (c) Complies with the Conservation and Heritage provisions in Section 6.0;
- (d) Complies with the Specific and District Wide provisions in Section 7.0; and
- (e) Complies with the District Wide Performance Standards in Section 8.0, except where the standards in Rule 8.6.8.8 are more restrictive.

*Conditions* may be imposed in relation to the matters over which the *Council* has exercised its discretion as set out in Rule 5.12.4.3.

- (3) Any Non compliance with the setback standards as shown on the Structure Plan Map, and/or the Structure Plan Activity Specific Standards in Rule 8.6.8.8 shall be a *Restricted Discretionary Activity*, and shall be assessed against the relevant *Restricted Discretionary Assessment Criteria* in 8.6.8.9.
- (4) The following are a *Discretionary Activity* in the Kerepehi South (Industrial) Structure Plan area:
  - (a) Any *Discretionary Activity* listed in Rule 5.12.4.4 Industrial Zone, and shall be assessed against the relevant criteria in Rule 5.12.7.
- (5) The following are a *Non Complying Activity* in the Kerepehi South (Industrial) Structure Plan area:
  - (a) Any *Non Complying Activity* listed in Rule 5.12.4.5 Industrial Zone.
- (6) The following are a *Prohibited Activity* in the Kerepehi South (Industrial) Structure Plan area:
  - (a) Any *Prohibited Activity* listed in Rule 5.12.4.6 Industrial Zone.

#### 8.6.8.8 STRUCTURE PLAN ACTIVITY SPECIFIC STANDARDS

- (1) No *heavy vehicles* shall be parked, loaded or unloaded, and no plant, equipment, products, or other materials shall be stored, within the building setbacks as delineated on the Structure Plan map.
- (2) The existing earth bund within the 20 metre setback from State Highway 2 shall be retained and maintained in mown or grazed pasture and/or *amenity* plantings.
- (3) Prior to the establishment of a new or extended land use on PT Section 16 Block VII Kerepehi Township, the 10 metre setback from State Highway 2 tapering to a point at the northern end, shall be grassed and planted with a row of specimen trees that are capable of achieving a maturity height of a minimum of 5 metres, spaced at a maximum of 10 metres apart (measured from the trunk of the trees) over the length of the setback. The trees shall be maintained and replaced as necessary to retain a healthy row of specimen trees, and the remainder of the setback shall be maintained in mown or grazed pasture and/or *amenity* plantings. A landscape plan detailing the proposed planting shall be certified by the *Council* prior to implementation.

- (4) Any new *buildings* or external alterations to existing *buildings* located on Lot 35 DPS 46964, Lot 21 DPS 57966, and Lots 3 & 4 DPS 59607, shall comply with the following standards:
- (a) All entranceways, doors, windows and other openings and opening features, shall be located only on those walls of *buildings* sited at a 90 degree or greater angle to the adjacent Reserve or Residential zoned land.
  - (b) Entranceways to *buildings* for loading/unloading of materials or products or for access for vehicles shall not be located within 20 metres of the adjacent Reserve or Residential zoned land.
  - (c) All service uses such as extractor fans, air conditioning units, generators and other noise generating equipment shall be located only on or against walls of *buildings* not facing Reserve or Residential zoned land, and where located on walls, other than those parallel to and directly facing away from Reserve or Residential zoned land, shall be directed away from Reserve and Residential zoned land.
  - (d) The above standards shall not apply where the new *buildings*, or new openings in existing *buildings*, or service and/or noise generating equipment is screened from the Reserve and Residential zones by an intermediate *building* or solid wall (either freestanding or part of the *building* itself).
- (5) *Heavy vehicle* access to and from any *site* shall not be permitted from Ponui Avenue, Rakino Drive and Motuihe Lane.
- (6) No *heavy vehicles* shall be parked, loaded or unloaded, and no plant, equipment, products, or other materials shall be stored, and no *buildings* or *structures* shall be erected, on Lot 14 DPS 46964. The existing formed vehicle access from Kaikahu Road through Lot 14 DPS 46964 may continue to be used.
- (7) No vehicle crossing point shall be permitted to any *site* from State Highway 2 or within 60 metres of the intersection of Kerepehi Town Road with State Highway 2, as delineated on the Structure Plan Map.

#### 8.6.8.9 STRUCTURE PLAN RESTRICTED DISCRETIONARY ASSESSMENT CRITERIA FOR STRUCTURE PLAN ACTIVITY SPECIFIC STANDARDS

The *Council* will restrict the exercise of its discretion to the ability of the activity or development to achieve the purpose of the Structure Plan, and shall have regard to the relevant assessment criteria below.

Matters over which the *Council* has restricted its discretion are:

- (1) ***Building Design, Site Layout, Vehicle Access and Landscaping in Relation to the State Highway Frontage***
- (a) The extent to which the *buildings* are designed to front the *state highway*, and include such features as the main public entrance, advertising and window display. In particular, features such as the service or loading entrance, extractor and air conditioning units should be located on side or rear walls.
  - (b) To what extent have *buildings* and outdoor activities been set back from the *state highway frontage* to allow room for *landscaping*, access and parking areas, and also to

ensure that *buildings* do not visually dominate the streetscape as viewed from the *state highway*;

- (c) Whether parking and loading areas have been located to be readily visible to drivers and conveniently accessible in order to minimise disruption to traffic flows on the *state highway*, or disruption to activities on *site*;
- (d) Whether storage yards and servicing areas are sited away from the *state highway* or screened from the *state highway* to minimise visual impact.
- (e) Whether access to and from *sites* has been located and designed to minimise any detrimental effects on the safety and efficiency of the transport network;
- (f) Whether the access points are located so as to be readily visible to drivers thereby enabling safe slowing and acceleration distances;
- (g) Whether the *site* will be landscaped in a manner that:
  - (i) enhances the appearance of industrial development from the *state highway*;
  - (ii) visually softens any hard or bleak surfaces;
  - (iii) screens unsightly parts of the development;
  - (iv) complements the design and appearance of *buildings* to present an attractive facade to the *state highway*;
  - (v) does not screen the driver's view of access points or *signs* identifying the business located on the *site*;

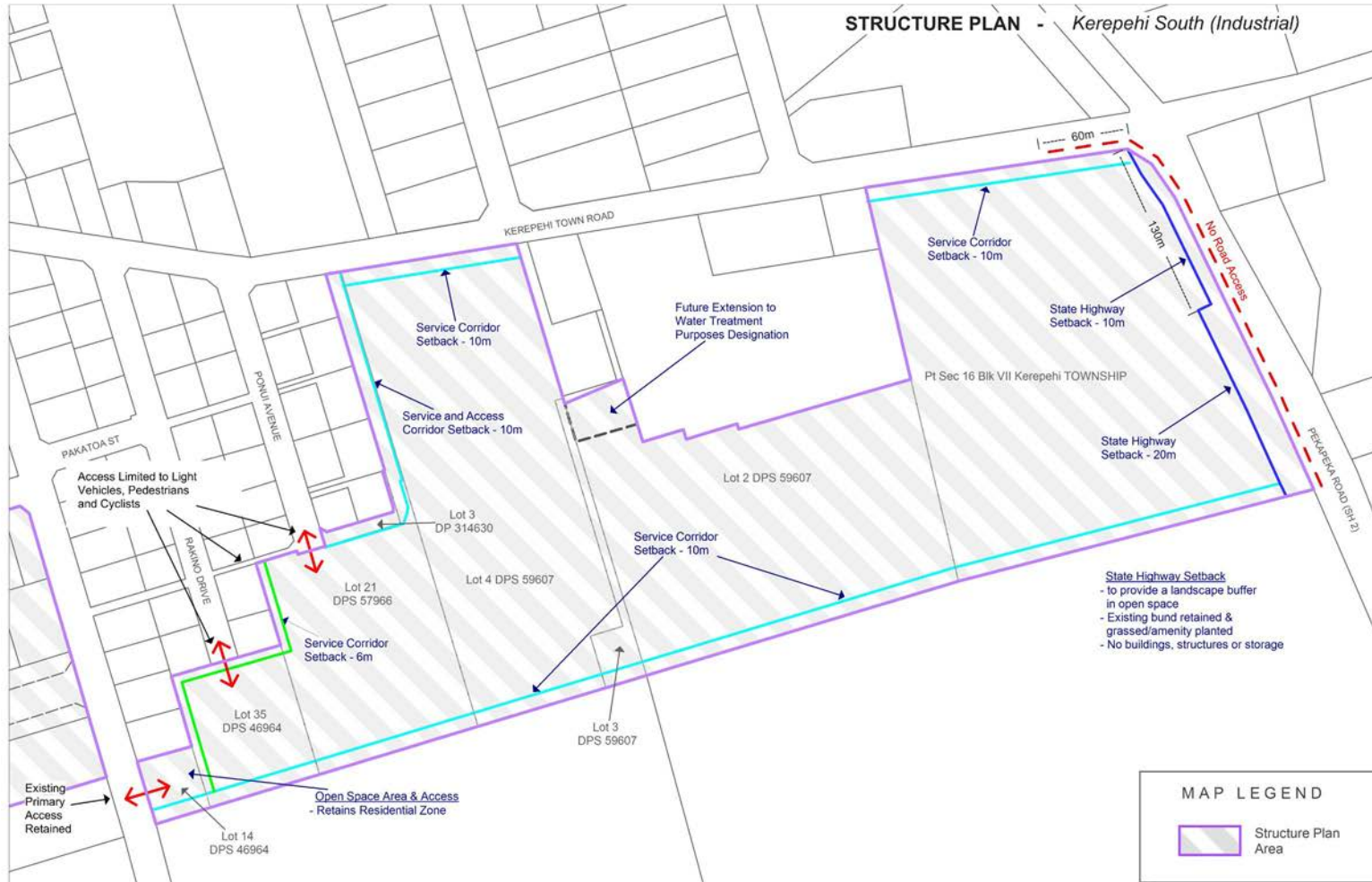
**(2) *Building Design, Site Layout, Vehicle Access and Landscaping in Relation to Adjacent Reserve (Active) and Residential Zones***

- (a) The extent to which *buildings* are designed in a manner which is complementary and sensitive to the existing and potential *amenities* of the surrounding Residential and Reserve Zone *environments* in terms of scale, form and harmony;
- (b) Whether *building* features such as major entranceways, doors and windows, and service uses such as extractor fans and airconditioning units, are located so as to direct the transmission of any nuisance elements such as noise, dust, glare and smell away from any residential and reserve areas;
- (c) Whether *building* features such as windows, balconies and outside access to second level and higher, have been located or designed to minimise any adverse effect on the privacy and outlook of neighbouring residential *buildings* and property.
- (d) Whether *buildings* and outdoor activities, including storage areas, refuse and waste holding areas, loading/unloading areas, parking and servicing areas, have been sited so as to minimise the transmission of any nuisance elements such as noise, dust, glare or smell to any Residential or Reserve Zone;
- (e) To what extent have factors such as wind direction, *landscaping*, and *yards* been used to assist in the minimising of nuisance elements (eg. noise, odours, particulates);
- (f) Whether the efficient and effective functioning and maintenance of the service corridors will be adversely impacted;

- (g) To what extent will *heavy vehicle* access to and from a *site* from Ponui Avenue and Rakino Drive impact on the adjacent residential *amenities* having regard to traffic volumes, frequency and hours of traffic movements;
- (h) Whether the *site* has been landscaped in a manner that:
  - (i) softens the visual impact of industrial uses on the Residential or Reserve Zone;
  - (ii) provides a permanent physical buffer between the Residential or Reserve Zone and Industrial Zone;
  - (iii) screens unsightly parts of development;
  - (iv) reduces undesirable elements of *industrial activities* such as particulates and glare;
  - (v) reduces the scale of *buildings* (particularly their *height*) by incorporating trees capable of growing to a height similar to the *buildings*.



8.6.8.10 STRUCTURE PLAN MAP – KEREPEHI SOUTH (INDUSTRIAL)



## 8.6.9 APPENDIX 8: STRUCTURE PLAN – KEREPEHI (RESIDENTIAL)

### 8.6.9.1 DESCRIPTION

- (1) This structure plan applies to the Residential Zoned land contained within two separate areas, one on the northern side of Kerepehi and one on the southern side, as follows:

Area A: Along the eastern side of McGowan Avenue – Lot 2 DPS 24551, Lots 1-3 DPS 14714, Lot 1 DP 27388 and part of 2A1B2B Tiritiri, being an area of 4.44 hectares.

Area B: South of Miro Street – Section 1-12 Blk VI Kerepehi Township, being an area of 4.76 hectares.

- (2) The areas are to be developed for residential purposes having regard to the following infrastructure requirements:

#### (a) Access

The roading and pedestrian/cycleway layout as shown in the structure plan for each of Areas A and B ensures that the most suitable access connections to the existing roading network, internal circulation and access connections are provided that allow for multimodal forms of transport. In Area B the required road can be either a through road or a cul de sac accessed from Kaikahu Road.

#### (b) Water

Area A is to be reticulated from the 150mm main on Kerepehi Town Road and Area B from the 150mm main on Kaikahu Road with trunk mains of a sufficient size being installed, located so as to serve the entire area. The design for each of the Areas A and B and for each individual development or subdivision is to implement this by providing for the reticulation of the whole structure plan area in a comprehensive and efficient manner, minimising the number of water mains and maximising the use of existing water infrastructure.

#### (c) Wastewater

Areas A and B are to be reticulated for sewage disposal, with trunk mains of a sufficient size being installed, located so as to serve the whole of each area, and link appropriately to the existing reticulation.

Area A is to be reticulated to the Council network between MH 100125 and MH 100133.

Area B is to be reticulated to the sewer pumpstation (104005) situated on Miro Street.

The design for each individual development or subdivision is to implement this by providing for the servicing of the whole structure plan area in a comprehensive and efficient manner, minimising the number of main sewers, rising mains and pump stations required and including appropriate linkages to the existing reticulation.

#### (d) Stormwater

Areas A and B are to be reticulated for stormwater disposal, with trunk mains of a sufficient size being installed, located so as to serve the whole of each area.

Area A is to be reticulated to the Council Land Drains situated to the north and east of the area. All existing open drains in this area are to be piped.

Area B is to be reticulated to the Council Land Drains located to the east (Kaikahu Road) and south of the area. The section of Land Drain running across this area to Kaikahu Road is to be piped.

The design for each individual development or subdivision is to be such as to readily provide for the servicing of the whole structure plan area in a comprehensive and efficient manner.

### 8.6.9.2 ISSUES

- (1) Higher land suitable for residential development is limited, with Kerepehi being surrounded by lower lying land with high quality soils for productive purposes, constraining the area available for residential development. Accordingly, the undeveloped land within the general confines of the town needs to be used wisely. In addition, residential land development needs to be undertaken giving effect to good quality urban design principles.
- (2) Unplanned development of this Greenfield area could result in:
  - (a) Inefficiencies in the provision of infrastructure and longer term operation and maintenance costs;
  - (b) Access provisions for all modes of transport giving poor connectivity and linkages to the existing residential area and the road network and poor traffic flows through the new residential area.

### 8.6.9.3 PURPOSE

- (1) The structure plan seeks to ensure that these residential areas are developed in a well planned and comprehensive manner having regard to:
  - (a) Good quality urban design principles;
  - (b) Transportation links;
  - (c) Infrastructure;
  - (d) Efficient use of residential land.

### 8.6.9.4 OBJECTIVES

- (1) A safe, useable and attractive residential environment is provided.
- (2) Cost efficient and effective infrastructure is provided.

### 8.6.9.5 POLICIES

- (1) Ensuring that good quality urban design principles for residential development are implemented.
- (2) Requiring residential development infrastructure to be undertaken in an integrated and strategic manner to give effect to Objective 8.6.9.4(2).

#### 8.6.9.6 ACTIVITY STATUS AND RULES FOR SUBDIVISION

- (1) *Subdivision* of Areas A and B in accordance with the provisions of the Kerepehi (Residential) Structure Plan Description and Map shall be a *Controlled Activity*, provided that it also complies with:
  - (a) *Subdivision rules* in Section 9.0;
  - (b) Specific and District Wide provisions in Section 7.0;
  - (c) District Wide Performance Standards in Section 8.0.
- (2) *Subdivision* of Areas A and B not in accordance with Rules 8.6.9.6(1)(a), (b) or (c) shall have the same activity status as that in either Sections 7.0, 8.0 or 9.0.
- (3) *Subdivision* of Areas A and B not in accordance with the details of the Structure Plan Description and Map shall be a *Discretionary Activity*.

#### 8.6.9.7 ACTIVITY STATUS AND RULES FOR DEVELOPMENT

- (1) Any activity listed as a *Permitted Activity* in Rule 5.7.4.1 Residential Zone is a *Permitted Activity* in the Kerepehi (Residential) Structure Plan Areas, provided that the development:
  - (a) Is in accordance with and within land that has been subdivided under the provisions of Rule 8.6.9.6 and *Certificates of Title* have been issued;
  - (b) Complies with the *Zone Development Standards* specified in Rule 5.7.5;
  - (c) Complies with the Activity Specific Standards specified in Rule 5.7.6;
  - (d) Complies with the Conservation and Heritage provisions in Section 6.0;
  - (e) Complies with the Specific and District Wide provisions in Section 7.0;
  - (f) Complies with the District Wide Performance Standards in Section 8.0.
- (2) Any activity listed as a *Controlled Activity* in Rule 5.7.4.2 Residential Zone is a *Controlled Activity* in the Kerepehi (Residential) Structure Plan Areas, provided that the development:
  - (a) Is in accordance with and within land that has been subdivided under the provisions of Rule 8.6.9.6 and *Certificates of Title* have been issued;
  - (b) Complies with the *Zone Development Standards* specified in Rule 5.7.5;
  - (c) Complies with the Activity Specific Standards specified in Rule 5.7.6;
  - (d) Complies with the Conservation and Heritage provisions in Section 6.0;
  - (e) Complies with the Specific and District Wide provisions in Section 7.0;
  - (f) Complies with the District Wide Performance Standards in Section 8.0.

*Conditions* may be imposed in relation to the matters over which control has been reserved as specified in Rule 5.8.4.2 and the following:

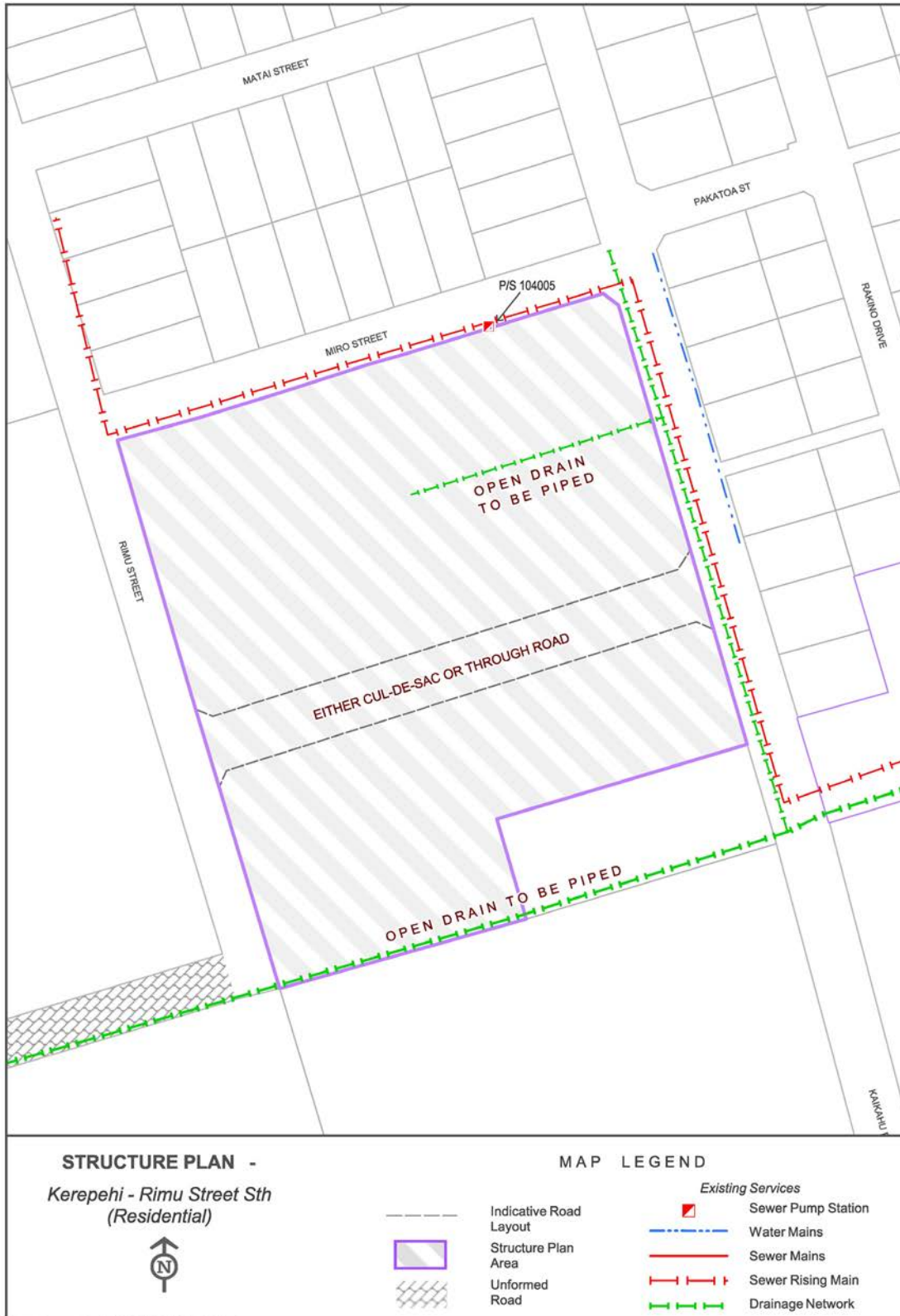
  - (i) Whether the development assists in the implementation of integrated infrastructure to serve the whole of the Kerepehi (Residential) Structure Plan area.

- (3) Any activity listed as a *Restricted Discretionary Activity* in Rule 5.7.4.3 Residential Zone is a *Restricted Discretionary Activity* in the Kerepehi (Residential) Structure Plan Area, provided that the development:
- (a) Is in accordance with and within land that has been subdivided under the provisions of Rule 8.6.9.6 and *Certificates of Title* have been issued;
  - (b) Complies with the *Restricted Discretionary Zone Development Standards* specified in Rule 5.7.5;
  - (c) Complies with the Activity Specific Standards specified in Rule 5.7.6;
  - (d) Complies with the Conservation and Heritage provisions in Section 6.0;
  - (e) Complies with Specific and District Wide provisions in Section 7.0;
  - (f) Complies with the District Wide Performance Standards in Section 8.0.
- Conditions* may be imposed in relation to the matters over which the *Council* has exercised its discretion as set out in Rule 5.8.4.3.
- (4) The following are a *Discretionary Activity* in the Kerepehi (Residential) Structure Plan area:
- (a) Any *Permitted, Controlled or Restricted Discretionary Activity* listed in Rules 8.6.9.7 (1) – (3) that is located on land that has not been subdivided under the provisions of Rule 8.6.9.6 and/or *Certificates of Title* have not been issued;
  - (b) Any *Discretionary Activity* listed in Rule 5.7.4.4 Residential Zone.
- (5) The following is a *Non Complying Activity* in the Kerepehi (Residential) Structure Plan Area:
- (a) Any *Non Complying Activity* listed in Rule 5.7.4.5 Residential Zone.
- (6) The following is a *Prohibited Activity* in the Kerepehi (Residential) Structure Plan Areas:
- (a) Any *Prohibited Activity* listed in Rule 5.7.4.6 Residential Zone.

8.6.9.8 STRUCTURE PLAN MAP – KEREPEHI (RESIDENTIAL)



**8.6.9.9 STRUCTURE PLAN MAP – KEREPEHI – RIMU STREET SOUTH (RESIDENTIAL)**





## 8.6.10 APPENDIX 9: STRUCTURE PLAN – PAEROA NORTH (RESIDENTIAL)

### 8.6.10.1 DESCRIPTION

- (1) This structure plan applies to the Residential Zoned land contained within Lot 1 DP 2728, Part Lot 2 DP 2728, Lot 2 DPS 33677 and Pt 1 Hararahi (Pt DP 6900), being an area of 27.9 hectares on the northern side of Paeroa, to the west of State Highway 26.
- (2) The area is to be developed for residential purposes having regard to the following infrastructure requirements:

#### (a) Access

The roading and pedestrian/cycleway layout as shown in the structure plan ensures that the most suitable access connections to the existing roading network, internal circulation and access connections to each stage of development are provided.

#### (b) Water

The area is to be reticulated from the 100mm main in Norwood Road, the 150mm main in Rata Lane and the 100mm/150mm main on State Highway 26, with trunk mains of a sufficient size being installed, located so as to serve the entire area. The design for each stage, and each individual development or subdivision, is to implement this by providing for the reticulation of the whole structure plan area, minimising the number of water mains and maximising the use of existing water infrastructure.

#### (c) Wastewater

The area is to be reticulated for sewage disposal, with trunk mains of a sufficient size being installed, located so as to serve the entire area, and link appropriately to the required pump stations and existing reticulation. The design for each stage, and for each individual development or subdivision within each stage, is to implement this by providing for the servicing of the total area in a comprehensive and efficient manner, minimising the number of main sewers, rising mains and pump stations required and including appropriate linkages to the existing reticulation.

#### (d) Stormwater

The area is to be reticulated for stormwater disposal, with the piping of existing open drains, and installation of trunk mains of a sufficient size, located so as to serve the entire area. The design for each stage, and each individual development or subdivision, is to implement this by providing for the servicing of the whole structure plan area, minimising the number of stormwater mains required and leading to reticulation to the Council Land Drainage system to the north of the area.

### 8.6.10.2 ISSUES

- (1) Land suitable for residential development in Paeroa is constrained by a number of geographic features (eg Ohinemuri River), and lower lying land that is an essential part of the land drainage system that allows water from storm events to be stored and released so as to attenuate potential flood flows. Accordingly, the land that is available for residential



development needs to be used wisely. In addition, residential land development needs to be undertaken giving effect to good quality urban design principles.

- (2) Unplanned development of this Greenfield area could result in:
- (a) Inefficiencies in the provision of infrastructure and longer term operation and maintenance costs;
  - (b) Access provisions for all modes of transport giving poor connectivity and linkages to the existing residential area and the road network and poor traffic flows through the new residential area.

### 8.6.10.3 PURPOSE

- (1) The structure plan seeks to ensure that this residential area is developed in stages in a well planned and comprehensive manner having regard to:
- (a) Quality urban design principles;
  - (b) Multi modal transportation links;
  - (c) Infrastructure;
  - (d) Efficient use of residential land.

### 8.6.10.4 OBJECTIVES

- (1) A safe, useable and attractive residential environment is provided.
- (2) Cost efficient and effective infrastructure is provided.

### 8.6.10.5 POLICIES

- (1) Ensuring that good quality urban design principles for residential development are implemented.
- (2) Requiring residential development infrastructure to be undertaken in an integrated and strategic manner to give effect to Objective 8.6.10.4(2).

### 8.6.10.6 ACTIVITY STATUS AND RULES FOR SUBDIVISION

- (1) *Subdivision* of Lot 1 DP 2728, Part Lot 2 DP 2728, Lot 2 DPS 33677 and Pt. 1 Hararahi (Pt DP 6900) in accordance with the provisions of the Paeroa North (Residential) Structure Plan Description and Map shall be a *Controlled Activity*, provided that it also complies with:
- (a) *Subdivision rules* in Section 9.0;
  - (b) Specific and District Wide provisions in Section 7.0;
  - (c) District Wide Performance Standards in Section 8.0.

- (2) *Subdivision* of Lot 1 DP 2728, Part Lot 2 DP 2728, Lot 2 DPS 33677 and Pt. 1 Hararahi (Pt DP 6900) not in accordance with Rule 8.6.10.6(1)(a) (b) or (c) shall have the same activity status as that specified in either Section 7.0, 8.0 or 9.0.
- (3) *Subdivision* of Lot 1 DP 2728, Part Lot 2 DP 2728, Lot 2 DPS 33677 and Pt. 1 Hararahi (Pt DP 6900) not in accordance with the details of the Structure Plan Description and Map shall be a *Discretionary Activity*.

#### 8.6.10.7 ACTIVITY STATUS AND RULES FOR DEVELOPMENT

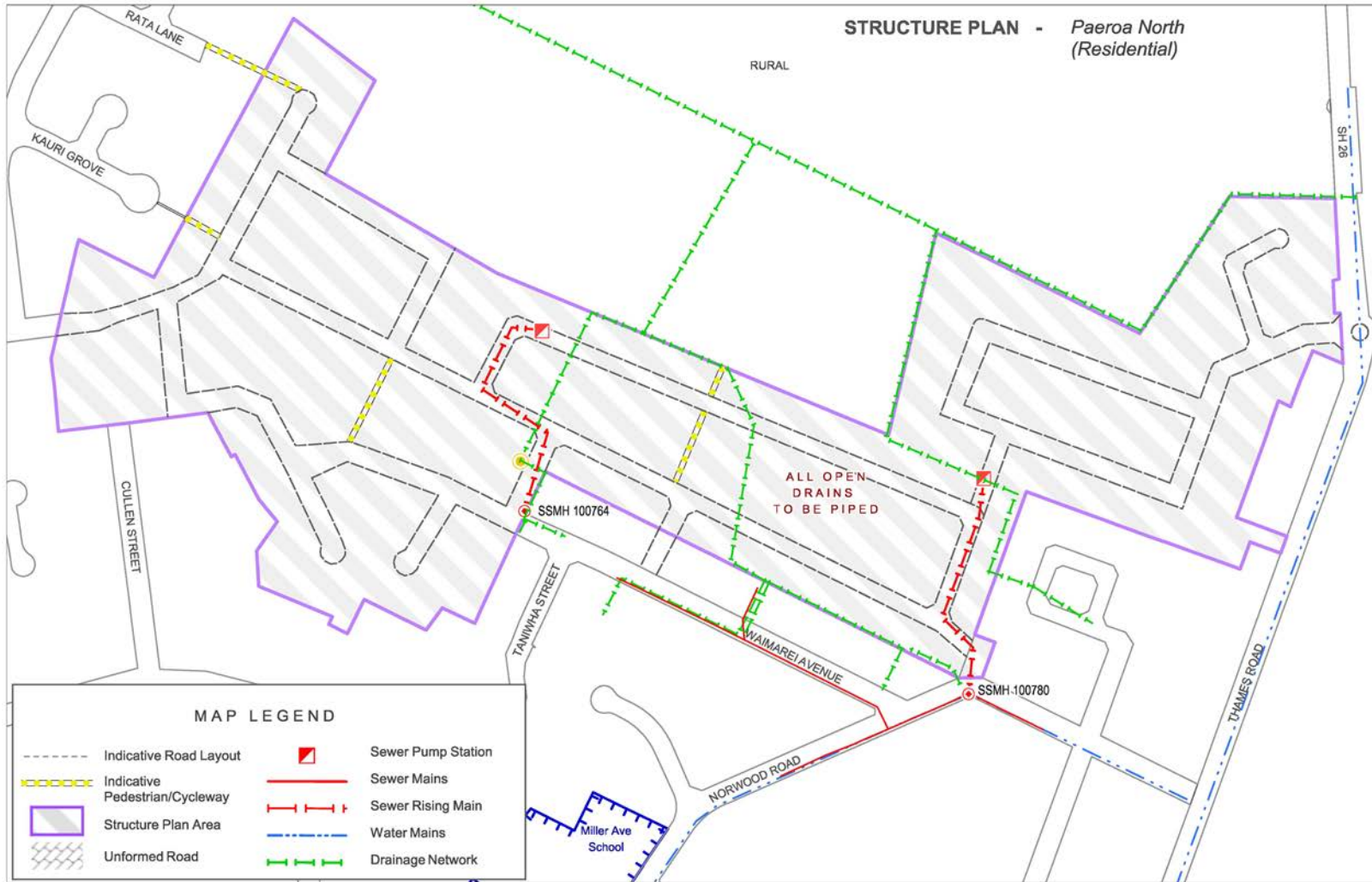
- (1) Any activity listed as a *Permitted Activity* in Rule 5.7.4.1 Residential Zone is a *Permitted Activity* in the Paeroa North (Residential) Structure Plan area, provided that the development:
- (a) Is in accordance with and within land that has been subdivided under the provisions of Rule 8.6.10.6 and *Certificates of Title* have been issued;
  - (b) Complies with the *Zone Development Standards* specified in Rule 5.7.5;
  - (c) Complies with the Activity Specific Standards specified in Rule 5.7.6;
  - (d) Complies with the Conservation and Heritage provisions in Section 6.0;
  - (e) Complies with the Specific and District Wide provisions in Section 7.0;
  - (f) Complies with the District Wide Performance Standards in Section 8.0.
- (2) Any activity listed as a *Controlled Activity* in Rule 5.7.4.2 Residential Zone is a *Controlled Activity* in the Paeroa North (Residential) Structure Plan area, provided that the development:
- (a) Is in accordance with and within land that has been subdivided under the provisions of Rule 8.6.10.6 and *Certificates of Title* have been issued;
  - (b) Complies with the *Zone Development Standards* specified in Rule 5.7.5;
  - (c) Complies with the Activity Specific Standards specified in Rule 5.7.6;
  - (d) Complies with the Conservation and Heritage provisions in Section 6.0;
  - (e) Complies with the Specific and District Wide provisions in Section 7.0;
  - (f) Complies with the District Wide Performance Standards in Section 8.0.
- Conditions* may be imposed in relation to the matters over which control has been reserved as specified in Rule 5.7.4.2 and the following:
- (i) Whether the development assists in the implementation of integrated infrastructure to serve the whole Paeroa North (Residential) Structure Plan area.
- (3) Any activity listed as a *Restricted Discretionary Activity* in Rule 5.7.4.3 Residential Zone is a *Restricted Discretionary Activity* in the Paeroa North (Residential) Structure Plan area, provided that the development:
- (a) Is in accordance with and within land that has been subdivided under the provisions of Rule 8.6.10.6 and *Certificates of Title* have been issued;
  - (b) Complies with the *Restricted Discretionary Zone Development Standards* specified in Rule 5.7.5;
  - (c) Complies with the Activity Specific Standards specified in Rule 5.7.6;

- (d) Complies with the Conservation and Heritage provisions in Section 6.0;
- (e) Complies with the Specific and District Wide provisions in Section 7.0;
- (f) Complies with the District Wide Performance Standards in Section 8.0.

*Conditions* may be imposed in relation to the matters over which the *Council* has exercised its discretion as set out in Rule 5.7.4.3.

- (4) The following are a *Discretionary Activity* in the Paeroa North (Residential) Structure Plan area:
  - (a) Any *Permitted, Controlled or Restricted Discretionary Activity* listed in Rules 8.6.10.7 (1) – (3) that is located on land that has not been subdivided under the provisions of Rule 8.6.10.6 and/or *Certificates of Title* have not been issued;
  - (b) Any *Discretionary Activity* listed in Rule 5.7.4.4 Residential Zone.
- (5) The following are a *Non Complying Activity* in the Paeroa North (Residential) Structure Plan area:
  - (a) Any *Non Complying Activity* listed in Rule 5.7.4.5 Residential Zone.
- (6) The following are a *Prohibited Activity* in the Paeroa North (Residential) Structure Plan area:
  - (a) Any *Prohibited Activity* listed in Rule 5.7.4.6 Residential Zone.

8.6.10.8 STRUCTURE PLAN MAP – PAEROA NORTH (RESIDENTIAL)



## 8.6.11 APPENDIX 10: STRUCTURE PLAN – OPUKEKO, PAEROA (INDUSTRIAL)

### 8.6.11.1 DESCRIPTION

(1) This structure plan applies to Lots 1 and 2 DP 84298, Pt Lot 2 DP 9721, Pt Hararahi DP 8425, Pt Opatito Pt DP 9397, Lots 2-3 DP 344080, Lot 6 DP 344080, Lot 2 and Pt Lot 1 DP 7313, being an area of 14.06 hectares bounded by Opukeko Road, Coronation Street and Puke Road (State Highway 2).

(2) The area is to be developed for industrial purposes having regard to the following infrastructure requirements:

#### (a) Access

The roading layout as shown in the structure plan ensures that the most suitable access connections to the existing roading network, internal circulation and access connections are provided.

#### (b) Water

The area is to be reticulated from 100mm/150mm mains on Puke Road (State Highway 2) and/or the 100mm main on Coronation Street with trunk mains of a sufficient size being installed, located so as to serve the entire area. The design for each individual development or subdivision is to implement this by providing for the reticulation of the whole structure plan area in a comprehensive and efficient manner, minimising the number of water mains and maximising the use of existing water infrastructure.

#### (c) Wastewater

The area is to be reticulated for sewage disposal, with trunk mains of a sufficient size being installed, located so as to serve the entire area, and link appropriately to the required pump stations and existing reticulation. The design for each individual development or subdivision is to implement this by providing for the servicing of the whole structure plan area in a comprehensive and efficient manner, minimising the number of main sewers, rising mains and pump stations required and including appropriate linkages to the existing reticulation.

#### (d) Stormwater

The area is to be reticulated for stormwater disposal, with the piping of existing open drains, and installation of trunk mains of a sufficient size, located so as to serve the entire area. The design for each individual development or subdivision is to implement this by providing for the servicing (via a piped reticulation) of the whole structure plan area in a comprehensive and efficient manner to the streams at the northern and southern ends of the area.

### 8.6.11.2 ISSUES

(1) Land suitable for industrial development in Paeroa is constrained by the location of existing residential development and the constraints to the growth of Paeroa as a whole – geographic features and lower lying land. Accordingly, the land that is available for industrial development needs to be used wisely. In addition, industrial land development needs to be undertaken giving effect to good quality urban design principles.

- (2) Unplanned development of this Greenfield area could result in:
- (a) Inefficiencies in the provision of infrastructure and longer term operation and maintenance costs;
  - (b) Access provisions for all modes of transport giving poor connectivity and linkages to the existing industrial area and the road network and poor traffic flows through the new industrial area.

### 8.6.11.3 PURPOSE

- (1) The structure plan seeks to ensure that this industrial area is developed in a well planned and comprehensive manner having regard to:
- (a) Quality urban design principles;
  - (b) Transportation links;
  - (c) Infrastructure;
  - (d) Efficient use of industrial land.

### 8.6.11.4 OBJECTIVES

- (1) A safe, useable and attractive industrial environment is provided.
- (2) Cost efficient and effective infrastructure is provided.

### 8.6.11.5 POLICIES

- (1) Ensuring that good urban design principles for industrial development are implemented.
- (2) Requiring industrial development infrastructure to be undertaken in an integrated and strategic manner to give effect to Objective 8.6.11.4(2).

### 8.6.11.6 ACTIVITY STATUS AND RULES FOR SUBDIVISION

- (1) *Subdivision* of Lots 1 and 2 DPS 84298, Pt Lot 2 DP 9721, Pt Hararahi DP 8425, Pt Opatito Pt DP 9397, Lots 2-3 DP 344080, Lot 6 DP 344080, Lot 2 and Pt Lot 1 DP 7313 in accordance with the provisions of the Opukeko, Paeroa (Industrial) Structure Plan Description and Map shall be a *Controlled Activity*, provided that it also complies with:
- (a) *Subdivision rules* in Section 9.0;
  - (b) Specific and District Wide provisions in Section 7.0; and
  - (c) District Wide Performance Standards in Section 8.0.
- (2) *Subdivision* of Lots 1 and 2 DPS 84298, Pt Lot 2 DP 9721, Pt Hararahi DP 8425, Pt Opatito Pt DP 9397, Lots 2-3 DP 344080, Lot 6 DP 344080, Lot 2 and Pt Lot 1 DP 7313 not in accordance with Rule 8.6.11.6(1) (a), (b) or (c) shall have the same activity status as that specified in either Section 7.0, 8.0 or 9.0.

- (3) *Subdivision* of Lots 1 and 2 DPS 84298, Pt Lot 2 DPS 9721, Pt Hararahi DP 8425, Pt Opatito DP 9397, Lots 2-3 DP 344080, Lot 6 DP 344080, Lot 2 and Pt Lot 1 DP 7313 not in accordance with the details of the Structure Plan Description and Map shall be a *Discretionary Activity*.

#### 8.6.11.7 ACTIVITY STATUS AND RULES FOR DEVELOPMENT

- (1) Any activity listed as a *Permitted Activity* in Rule 5.12.4.1 Industrial Zone is a *Permitted Activity* in the Opukeko, Paeroa (Industrial) Structure Plan area, provided that the development:
- (a) Is in accordance with and within land that has been subdivided under the provisions of Rule 8.6.11.6 and *Certificates of Title* have been issued;
  - (b) Complies with the *Zone Development Standards* specified in Rule 5.12.5;
  - (c) Complies with the Activity Specific Standards specified in Rule 5.12.6;
  - (d) Complies with the Conservation and Heritage provisions in Section 6.0;
  - (e) Complies with the Specific and District Wide provisions in Section 7.0;
  - (f) Complies with the District Wide Performance Standards in Section 8.0.
- (2) Any activity listed as a *Controlled Activity* in Rule 5.12.4.2 Industrial Zone is a *Controlled Activity* in the Opukeko, Paeroa (Industrial) Structure Plan area, provided that the development:
- (a) Is in accordance with and within land that has been subdivided under the provisions of Rule 8.6.11.6 and *Certificates of Title* have been issued;
  - (b) Complies with the *Zone Development Standards* specified in Rule 5.12.5;
  - (c) Complies with the Activity Specific Standards specified in Rule 5.12.6;
  - (d) Complies with the Conservation and Heritage provisions in Section 6.0;
  - (e) Complies with the Specific and District Wide provisions in Section 7.0;
  - (f) Complies with the District Wide Performance Standards in Section 8.0.
- Conditions* may be imposed in relation to the matters over which control has been reserved as specified in Rule 5.12.4.2 and the following:
- (i) Whether the development assists in the implementation of integrated infrastructure to serve the whole Opukeko, Paeroa (Industrial) Structure Plan area.
- (3) Any activity listed as a *Restricted Discretionary Activity* in Rule 5.12.4.3 Industrial Zone is a *Restricted Discretionary Activity* in the Opukeko, Paeroa (Industrial) Structure Plan area, provided that the development:
- (a) Is in accordance with and within land that has been subdivided under the provisions of Rule 8.6.11.6 and *Certificates of Title* have been issued;
  - (b) Complies with the *Restricted Discretionary Zone Development Standards* specified in Rule 5.12.5;

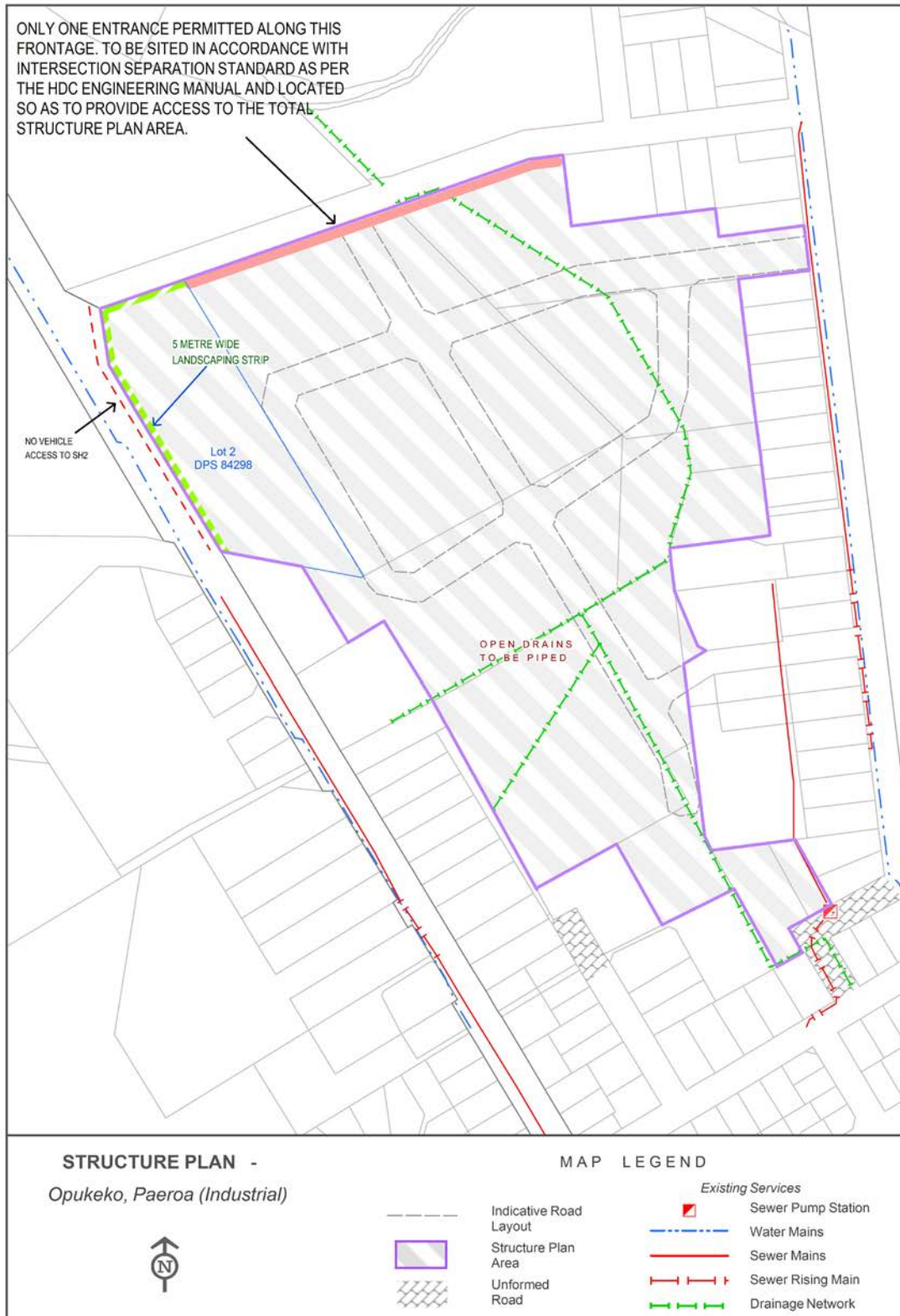
- (c) Complies with the Activity Specific Standards specified in Rule 5.12.6;
- (d) Complies with the Conservation and Heritage provisions in Section 6.0;
- (e) Complies with the Specific and District Wide provisions in Section 7.0;
- (f) Complies with the District Wide Performance Standards in Section 8.0.

*Conditions* may be imposed in relation to the matters over which the *Council* has exercised its discretion as set out in Rule 5.12.4.3.

- (4) The following are a *Discretionary Activity* in the Opukeko, Paeroa (Industrial) Structure Plan area:
  - (a) Any *Permitted, Controlled or Restricted Discretionary Activity* listed in Rules 8.6.11.7 (1) – (3) that is located on land that has not been subdivided under the provisions of Rule 8.6.11.6 and/or *Certificates of Title* have not been issued;
  - (b) Any *Discretionary Activity* listed in Rule 5.12.4.4 Industrial Zone.
- (5) The following are a *Non Complying Activity* in the Opukeko, Paeroa (Industrial) Structure Plan area:
  - (a) Any *Non Complying Activity* listed in Rule 5.12.4.5 Industrial Zone.
- (6) The following are a *Prohibited Activity* in the Opukeko, Paeroa (Industrial) Structure Plan area:
  - (a) Any *Prohibited Activity* listed in Rule 5.12.4.6 Industrial Zone.



**8.6.11.8 STRUCTURE PLAN MAP – OPUKEKO, PAEROA (INDUSTRIAL)**



## 8.6.12 APPENDIX 11: STRUCTURE PLAN – WAIKINO (LOW DENSITY RESIDENTIAL)

### 8.6.12.1 DESCRIPTION

- (1) This structure plan applies to the Low Density Residential Zoned land contained within Lot 7 DPS 56403, and part of Lot 1 DPS 75115 being an area of 10.14 hectares on the northern side of Waikino, to the north of Poland Street and Old Waitekauri Road.
- (2) The area is to be developed for low density residential purposes having regard to the following infrastructure requirements:

#### (a) Access

The roading and pedestrian/cycleway layout as shown in the structure plan ensures that the most suitable access connections to the existing roading network, internal circulation and access connections are provided.

#### (b) Water

The area is to be reticulated from the 100mm main on Old Waitekauri Road with trunk mains of a sufficient size being installed, located so as to serve the entire area. The design for each individual development or subdivision is to implement this by providing for the reticulation of the whole structure plan area in a comprehensive and efficient manner, minimising the number of water mains and maximising the use of existing water infrastructure.

**NOTE:** Reticulated wastewater and stormwater systems are not available. Development of each individual lot will need to include on-site systems to dispose of wastewater and stormwater in accordance with requirements of the Waikato Regional Plan and the Building Act 2004.

### 8.6.12.2 ISSUES

- (1) Waikino has developed as a “semi rural” village with its own “special” amenity characteristics, within the constraints to growth that apply, which residents want to retain both within the existing urban area and the new growth area. The amenity characteristics applying to Waikino are reflected in the objectives, policies and rules in the Low Density Residential Zone and the Waikino-specific provisions of the HDC Engineering Manual. The land development needs to be undertaken giving effect to good quality urban design principles, while retaining and enforcing the special character.
- (2) Unplanned development of this Greenfield area could result in:
  - (a) A departure from the special character of the village;
  - (b) Inefficiencies in the provision of infrastructure and long term operation and maintenance costs;
  - (c) Access provisions for all modes of transport giving poor connectivity and linkages to the existing residential area and the road network and poor traffic flows through the new residential area;
  - (d) The creation of unsafe road access points.

### 8.6.12.3 PURPOSE

- (1) The structure plan seeks to ensure that this low density residential area is developed in a well planned and comprehensive manner having regard to:
  - (a) Quality urban design principles;
  - (b) The “special” amenity character of Waikino;
  - (c) Transportation links;
  - (d) Infrastructure.

### 8.6.12.4 OBJECTIVES

- (1) A safe, useable and attractive low density residential environment is provided.
- (2) Development is in keeping with and reinforces the “special” amenity characteristics of Waikino.
- (3) Cost efficient and effective infrastructure is provided.

### 8.6.12.5 POLICIES

- (1) Ensuring that good urban design principles for low density residential development are implemented.
- (2) Ensuring that low density character is replicated within each subdivision area.
- (3) Requiring low density residential development infrastructure to be undertaken in an integrated and strategic manner to give effect to Objective 8.6.12.4(3).

### 8.6.12.6 ACTIVITY STATUS AND RULES FOR SUBDIVISION

- (1) *Subdivision* of Lot 7 DPS 56403 and part of Lot 1 DPS 75115 in accordance with the provisions of the Waikino (Low Density Residential) Structure Plan Description and Map shall be a *Controlled Activity*, provided that it also complies with:
  - (a) *Subdivision rules* in Section 9.0;
  - (b) Specific and District Wide provisions in Section 7.0; and
  - (c) District Wide Performance Standards in Section 8.0.
- (2) *Subdivision* of Lot 7 DPS 56403 and part of Lot 1 DPS 75115 not in accordance with the details of the Structure Plan Description and Map shall be a *Discretionary Activity*.
- (3) *Subdivision* of Lot 7 DPS 56403 and part of Lot 1 DPS 75115 not in accordance with Rules 8.6.12.6(1)(a), (b) or (c) shall have the same activity status as that specified in either Sections 7.0, 8.0 or 9.0.

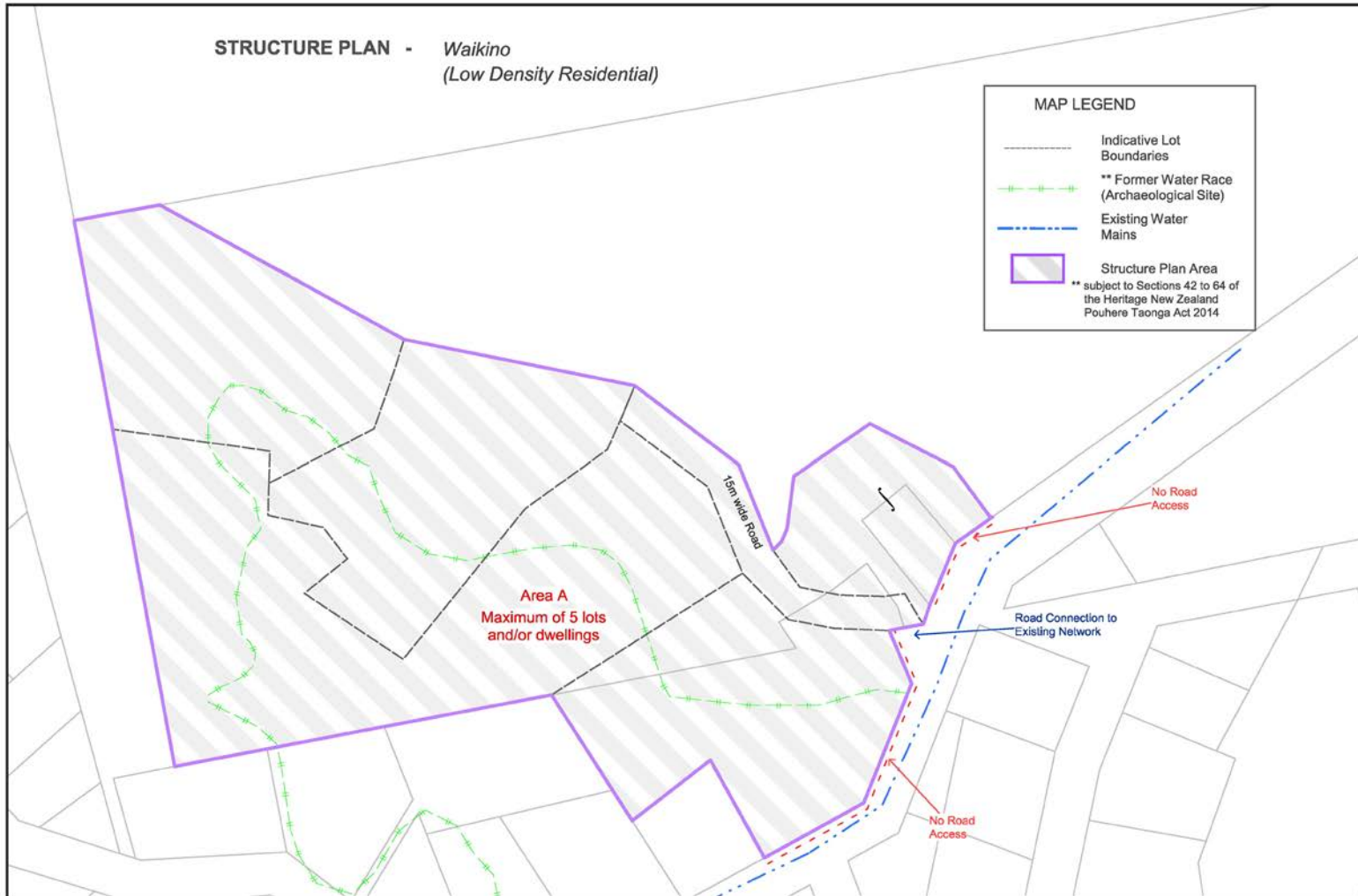
### 8.6.12.7 ACTIVITY STATUS AND RULES FOR DEVELOPMENT

- (1) Any activity listed as a *Permitted Activity* in Rule 5.8.4.1 Low Density Residential Zone is a *Permitted Activity* in the Waikino (Low Density Residential) Structure Plan area, provided that the development:
- (a) Is in accordance with and within land that has been subdivided under the provisions of Rule 8.6.12.6 and *Certificates of Title* have been issued;
  - (b) Complies with the *Zone Development Standards* specified in Rule 5.8.5;
  - (c) Complies with the Activity Specific Standards specified in Rule 5.8.6;
  - (d) Complies with the Conservation and Heritage provisions in Section 6.0;
  - (e) Complies with the Specific and District Wide provisions in Section 7.0;
  - (f) Complies with the District Wide Performance Standards in Section 8.0.
- (2) Any activity listed as a *Controlled Activity* in Rule 5.8.4.2 Low Density Residential Zone is a *Controlled Activity* in the Waikino (Low Density Residential) Structure Plan area, provided that the development:
- (a) Is in accordance with and within land that has been subdivided under the provisions of Rule 8.6.12.6 and *Certificates of Title* have been issued;
  - (b) Complies with the *Zone Development Standards* specified in Rule 5.8.5;
  - (c) Complies with the Activity Specific Standards specified in Rule 5.8.6;
  - (d) Complies with the Conservation and Heritage provisions in Section 6.0;
  - (e) Complies with the Specific and District Wide provisions in Section 7.0;
  - (f) Complies with the District Wide Performance Standards in Section 8.0.
- Conditions* may be imposed in relation to the matters over which control has been reserved as specified in Rule 5.8.4.2 and the following:
- (i) Whether the development assists in the implementation of integrated infrastructure to serve the whole Waikino (Low Density Residential) Structure Plan area.
- (3) Any activity listed as a *Restricted Discretionary Activity* in Rule 5.8.4.3 Low Density Residential Zone is a *Restricted Discretionary Activity* in the Waikino (Low Density Residential) Structure Plan area, provided that the development:
- (a) Is in accordance with and within land that has been subdivided under the provisions of Rule 8.6.12.6 and *Certificates of Title* have been issued;
  - (b) Complies with the *Restricted Discretionary Zone Development Standards* specified in Rule 5.8.5;
  - (c) Complies with the Activity Specific Standards specified in Rule 5.8.6;
  - (d) Complies with the Conservation and Heritage provisions in Section 6.0;
  - (e) Complies with the Specific and District Wide provisions in Section 7.0;
  - (f) Complies with the District Wide Performance Standards in Section 8.0.

*Conditions* may be imposed in relation to the matters over which the *Council* has exercised its discretion as set out in Rule 5.8.4.3.

- (4) The following are a *Discretionary Activity* in the Waikino (Low Density Residential) Structure Plan area:
- (a) Any *Permitted, Controlled* or *Restricted Discretionary Activity* listed in Rules 8.6.12.7(1) – (3) that is located on land that has not been subdivided under the provisions of Rule 8.6.12.6 and/or *Certificates of Title* have not been issued;
  - (b) Any *Discretionary Activity* listed in Rule 5.8.4.4 Low Density Residential Zone.
- (5) The following are a *Non Complying Activity* in the Waikino (Low Density Residential) Structure Plan area:
- (a) Any *Non Complying Activity* listed in Rule 5.8.4.5 Low Density Residential Zone;
  - (b) Development of Lot 7 DPS 56403 and part Lot 1 DPS 75115 in excess of the maximum number of *dwellings* as specified on the Structure Plan for areas A and B.
- (6) The following are a *Prohibited Activity* in the Waikino (Low Density Residential) Structure Plan area:
- (a) Any *Prohibited Activity* listed in Rule 5.8.4.6 Low Density Residential Zone.

8.6.12.8 STRUCTURE PLAN MAP – WAIKINO (LOW DENSITY RESIDENTIAL)



## 8.6.13 APPENDIX 12: STRUCTURE PLAN – WAIHI EAST (RESIDENTIAL)

### 8.6.13.1 DESCRIPTION

- (1) This structure plan applies to the Residential Zoned land contained within Lots 1 & 2 DP 381969, Lot 3 DPS 54708, Pt Lot 3 DPS 33510, Lot 2 DPS 33510 and Lot 1 DPS 59309, being an area of 15.61 hectares, and part of Lot 7 DPS 33511, being an area of approximately 1.70 hectares on the eastern side of Waihi, to the north of Matura Road and east of Smith Street.
- (2) The area is to be developed for residential purposes having regard to the following infrastructure requirements:

#### (a) Access

The roading and pedestrian/cycleway layout as shown in the structure plan ensures that the most suitable access connections to the existing roading network, internal circulation and access connections are provided that allow for multimodal forms of transport as well as potential access to natural features (eg Ohinemuri River).

#### (b) Water

The area is to be reticulated from the 100mm mains on Smith Street, Wenlock Street and/or Matura Road with trunk mains of a sufficient size being installed, located so as to service the entire area. The design for each individual development or subdivision is to implement this by providing for the reticulation of the whole structure plan area in a comprehensive and efficient manner, minimising the number of water mains and maximising the use of existing water infrastructure.

#### (c) Wastewater

The area is to be reticulated for sewage disposal, with trunk mains at a sufficient size being installed, located so as to serve the entire area and link appropriately to the existing reticulation. The design for each individual development or subdivision is to implement this by providing for the servicing of the whole structure plan area in a comprehensive and efficient manner, minimising the number of main sewers, rising mains and pump stations required and including appropriate linkages to the existing reticulation.

#### (d) Stormwater

The area is to be reticulated for stormwater disposal, with the installation of trunk mains of a sufficient size, located so as to serve the entire area. The design for each individual development or subdivision is to implement this by providing for the servicing of the whole structure plan area in a comprehensive and efficient manner, minimising the number of stormwater mains required, and utilising the natural water courses through and adjacent to the area, to discharge to and provide retention of peak flows.

### 8.6.13.2 ISSUES

- (1) Land suitable for residential development in Waihi is constrained by a number of geographic features (eg Ohinemuri River) and known mineral resources. Accordingly, the land that is

available for residential development needs to be used wisely. In addition, residential land development needs to be undertaken giving effect to good quality urban design principles.

- (2) Unplanned development of this Greenfield area could result in:
- (a) Inefficiencies in the provision of infrastructure and longer term operation and maintenance costs;
  - (b) Access provisions for all modes of transport giving poor connectivity and linkages to the existing residential area and the road network and poor traffic flows through the new residential area.

### 8.6.13.3 PURPOSE

- (1) The structure plan seeks to ensure that this residential area is developed in a well planned and comprehensive manner having regard to:
- (a) Quality urban design principles;
  - (b) Multimodal transportation links;
  - (c) Infrastructure;
  - (d) Efficient use of residential land

### 8.6.13.4 OBJECTIVES

- (1) A safe, useable and attractive residential environment is provided.
- (2) Cost efficient and effective infrastructure is provided.

### 8.6.13.5 POLICIES

- (1) Ensuring that good quality urban design principles for residential development are implemented.
- (2) Requiring residential development infrastructure to be undertaken in an integrated and strategic manner to give effect to Objective 8.6.13.4(2).

### 8.6.13.6 ACTIVITY STATUS AND RULES FOR SUBDIVISION

- (1) *Subdivision* of land within Lots 1 & 2 DP 381969, Lot 3 DPS 54708, Pt Lot 3 DPS 33510, Lot 2 DPS 33510, Lot 1 DPS 59309 and part of Lot 7 DPS 33511 in accordance with the provisions of the Waihi East (Residential) Structure Plan Description and Map shall be a *Controlled Activity*, provided that it also complies with:
- (a) *Subdivision rules* in Section 9.0;
  - (b) Specific and District Wide provisions in Section 7.0;
  - (c) District Wide Performance Standards in Section 8.0.



- (2) *Subdivision* of Lots 1 & 2 DP 381969, Lot 3 DPS 54708, Pt Lot 3 DPS 33510, Lot 2 DPS 33510, Lot 1 DPS 59309 and part of Lot 7 DPS 33511 not in accordance with Rules 8.6.13.6(1)(a), (b) or (c) shall have the same activity status as that specified in either Section 7.0, 8.0 or 9.0.
- (3) *Subdivision* of Lots 1 & 2 DP 381969, Lot 3 DPS 54708, Pt Lot 3 DPS 33510, Lot 2 DPS 33510, Lot 1 DPS 59309 and part of Lot 7 DPS 33511 not in accordance with the details of the Structure Plan Description and Map shall be a *Discretionary Activity*.

### 8.6.13.7 ACTIVITY STATUS AND RULES FOR DEVELOPMENT

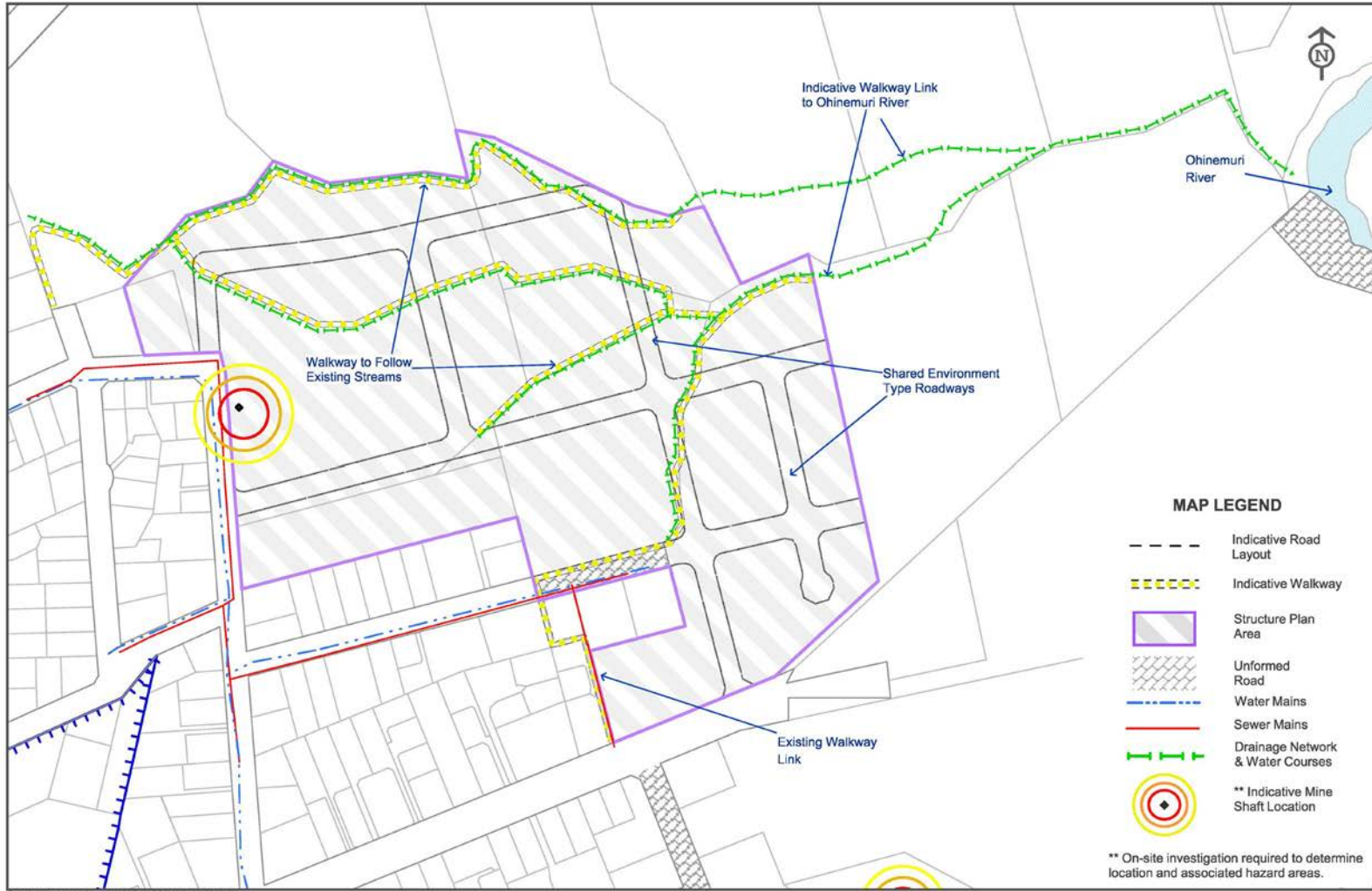
- (1) Any activity listed as a *Permitted Activity* in Rule 5.7.4.1 Residential Zone is a *Permitted Activity* in the Waihi East (Residential) Structure Plan area, provided that the development:
- (a) Is in accordance with and within land that has been subdivided under the provisions of Rule 8.6.13.6 and *Certificates of Title* have been issued;
  - (b) Complies with the *Zone Development Standards* specified in Rule 5.7.5;
  - (c) Complies with the Activity Specific Standards specified in Rule 5.7.6;
  - (d) Complies with the Conservation and Heritage provisions in Section 6.0;
  - (e) Complies with the Specific and District Wide provisions in Section 7.0;
  - (f) Complies with the District Wide Performance Standards in Section 8.0.
- (2) Any activity listed as a *Controlled Activity* in Rule 5.7.4.2 Residential Zone is a *Controlled Activity* in the Waihi East (Residential) Structure Plan area, provided that the development:
- (a) Is in accordance with and within land that has been subdivided under the provisions of Rule 8.6.13.6 and *Certificates of Title* have been issued;
  - (b) Complies with the *Zone Development Standards* specified in Rule 5.7.5;
  - (c) Complies with the Activity Specific Standards specified in Rule 5.7.6;
  - (d) Complies with the Conservation and Heritage provisions in Section 6.0;
  - (e) Complies with the Specific and District Wide provisions in Section 7.0;
  - (f) Complies with the District Wide Performance Standards in Section 8.0.
- Conditions* may be imposed in relation to the matters over which control has been reserved as specified in Rule 5.7.4.2 and the following:
- (i) Whether the development assists in the implementation of integrated infrastructure to serve the whole Waihi East (Residential) Structure Plan area.
- (3) Any activity listed as a *Restricted Discretionary Activity* in Rule 5.7.4.3 Residential Zone is a *Restricted Discretionary Activity* in the Waihi East (Residential) Structure Plan area, provided that the development:
- (a) Is in accordance with and within land that has been subdivided under the provisions of Rule 8.6.13.6 and *Certificates of Title* have been issued;
  - (b) Complies with the *Restricted Discretionary Zone Development Standards* specified in Rule 5.7.5;

- (c) Complies with the Activity Specific Standards specified in Rule 5.7.6;
- (d) Complies with the Conservation and Heritage provisions in Section 6.0;
- (e) Complies with the Specific and District Wide provisions in Section 7.0;
- (f) Complies with the District Wide Performance Standards in Section 8.0.

*Conditions* may be imposed in relation to the matters over which the *Council* has exercised its discretion as set out in Rule 5.7.4.3.

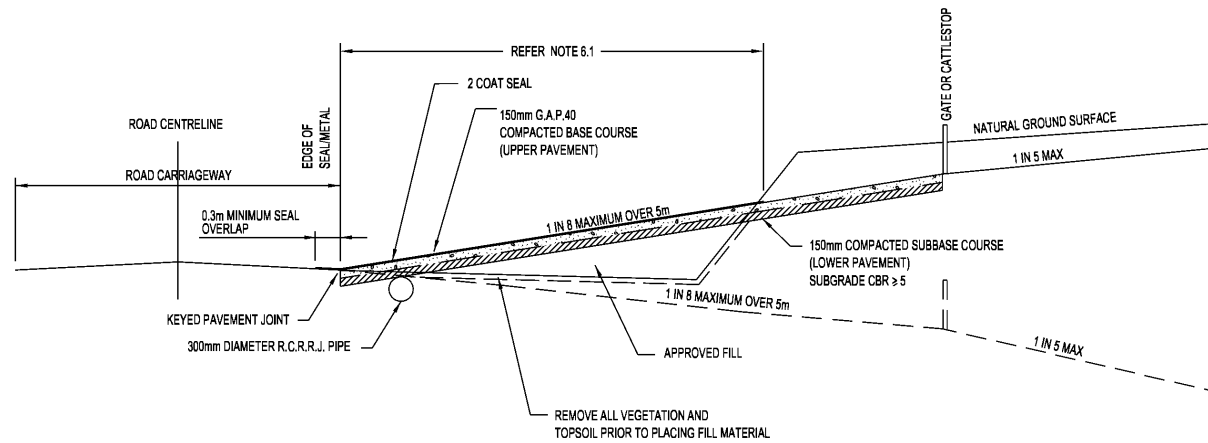
- (4) The following are a *Discretionary Activity* in the Waihi East (Residential) Structure Plan area:
  - (a) Any *Permitted, Controlled* or *Restricted Discretionary Activity* listed in Rules 8.6.13.7(1) – (3) that is located on land that has not been subdivided under the provisions of Rule 8.6.13.6 and/or *Certificates of Title* have not been issued;
  - (b) Any *Discretionary Activity* listed in Rule 5.7.4.4 Residential Zone.
- (5) The following are a *Non Complying Activity* in the Waihi East (Residential) Structure Plan area:
  - (a) Any *Non Complying Activity* listed in Rule 5.7.4.5 Residential Zone.
- (6) The following are a *Prohibited Activity* in the Waihi East (Residential) Structure Plan area:
  - (a) Any *Prohibited Activity* listed in Rule 5.7.4.6 Residential Zone.

8.6.13.8 STRUCTURE PLAN MAP – WAIHI EAST (RESIDENTIAL)





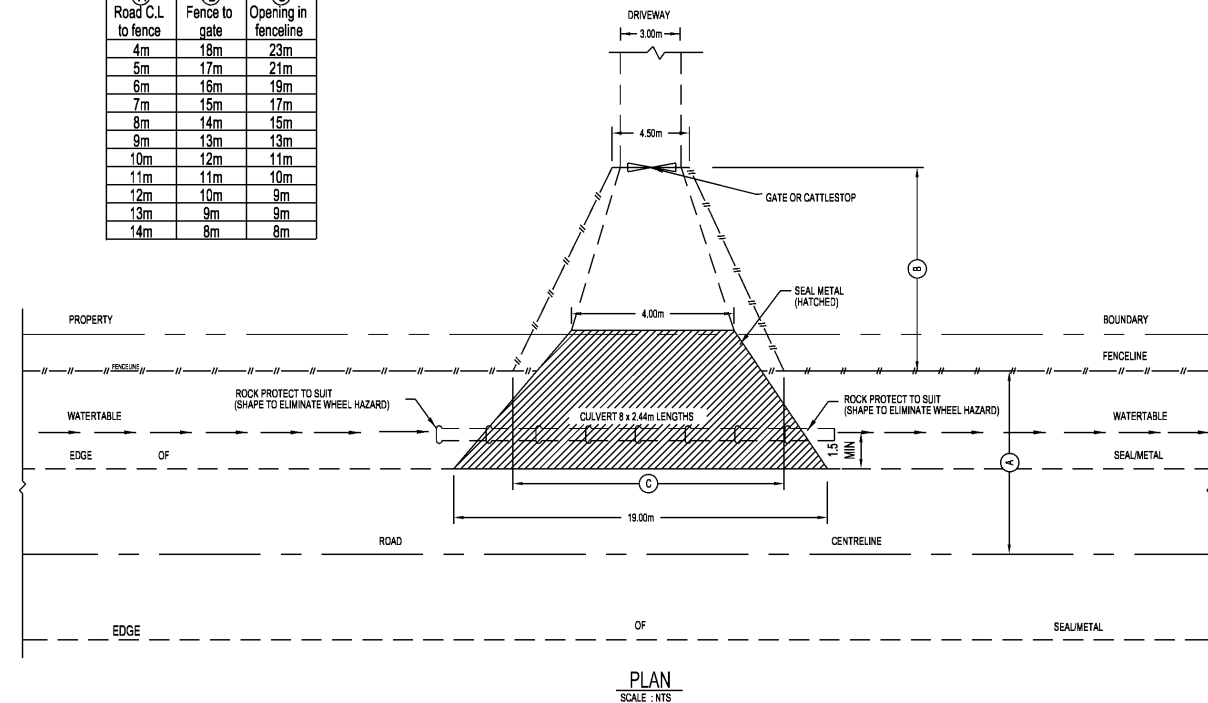
8.6.14 APPENDIX 13: DIMENSIONS, FORMATION AND CONSTRUCTION OF VEHICLE CROSSING POINTS AND CAR TRACKING CURVE



VEHICLE CROSSING LONGSECTION  
SCALE: NTS

**GATE & FENCE SETOUT TABLE**

(A) Road C.L. to fence	(B) Fence to gate	(C) Opening in fenceline
4m	18m	23m
5m	17m	21m
6m	16m	19m
7m	15m	17m
8m	14m	15m
9m	13m	13m
10m	12m	11m
11m	11m	10m
12m	10m	9m
13m	9m	8m
14m	8m	8m



PLAN  
SCALE: NTS

NOTES:

1.0 GENERAL:

- All works shall be constructed in accordance with the following notes and to the satisfaction of the Engineering Services Manager or his representative. Additional requirements to those shown on this drawing may be necessary for a particular location and will be determined on site.
- Any work undertaken in the road reserve will require a street opening permit and traffic management plan to be submitted for approval 10 working days before work commences. Any enquiries regarding this procedure may be directed to the Business Unit Administrator, on 07-862 8609.
- The construction of the vehicle entrances will require a vehicle crossing permit. Please contact the Business Unit Administrator, on 07-862 8609 to proceed with the application of the permit 5 working days before commencement of any work on the entrances.
- The constructor shall be responsible for road works signage while undertaking work on the road carriageway. All signage shall be in accordance with NZTA handbook for Temporary Traffic Control And Safety At Roadworks sites.
- The constructor shall be responsible for the cost of repairs to any Underground Utility Service damaged during construction. Any damage shall be rectified to the satisfaction of the relevant Asset Manager.
- A Class A Vehicle Crossing is deemed to be adequate to accommodate a 10m long vehicle with a maximum radius of 9.0m.

2.0 LOCATION:

- Entrance locations shall be where approved by HDC or NZTA if located on a State Highway.
- Minimum entrance sight distances are:

Speed Environment (km/h)	From vehicle entrance generating up to and including 40 vehicle movements per day	From vehicle entrance generating more than 40 vehicle movements per day
40	40m	70m
50	60m	90m
60	80m	115m
70	100m	140m
80	130m	175m
90	160m	210m
100	200m	250m
110	240m	290m
120		330m

- Refer to HDC DM diagram HDC 306 for rural accessway minimum entrance separation distances.

3.0 CULVERT:

- If an entrance crosses a Council drain the Contractor shall obtain written approval with culvert sizing from the Hauraki District Council Drainage Asset Manager prior to commencement of construction.
- If an entrance crosses a natural watercourse a resource consent may be required from the Waikato Regional Council (Environment Waikato).
- If an entrance crosses a small drain, watercourse or water table a culvert shall be installed.
- If the entrance crosses a watertable or small drain (less than 2m wide by 1m deep) A 300mm diameter minimum. Reinforced Concrete Rubber Ring Joint (RCRRJ) Class 4 or its equivalent pipe shall be installed. Concrete capping is required where cover <0.25m.
- Any unsuitable bedding material including vegetation, topsoil and peat shall be removed and replaced with 100mm pit sand or G.A.P. 40 or its equivalent if required.
- All culverts shall be laid straight at a constant grade between 1.5 and 8.5m from the pavement edge. Socket and shall always be uphill.

4.0 LOWER PAVEMENT:

- 150mm nominal depth approved GAP 65 subbase course. Additional undercut and backfill as required where soft spots occur. Reduce the depth to 80mm and backfill with GAP 40 if concrete surfacing is adopted.
- Alternative subbase materials can be used (quarry strippings/brownrock) with pavement design approval by the HDC Engineering Services Manager.
- The subbase course depth shall be increased from 80mm to 150mm within the Hauraki Plains where concrete surfacing is proposed.
- Full depth pavement to extend to gate/cattle stop.

5.0 UPPER PAVEMENT:

- 150mm nominal depth approved GAP 40 base course constructed above the subbase course layer where a sealed/AC surface is proposed.
- No base course installation is required if a concrete entrance is proposed. A minimum 150mm concrete depth is required.

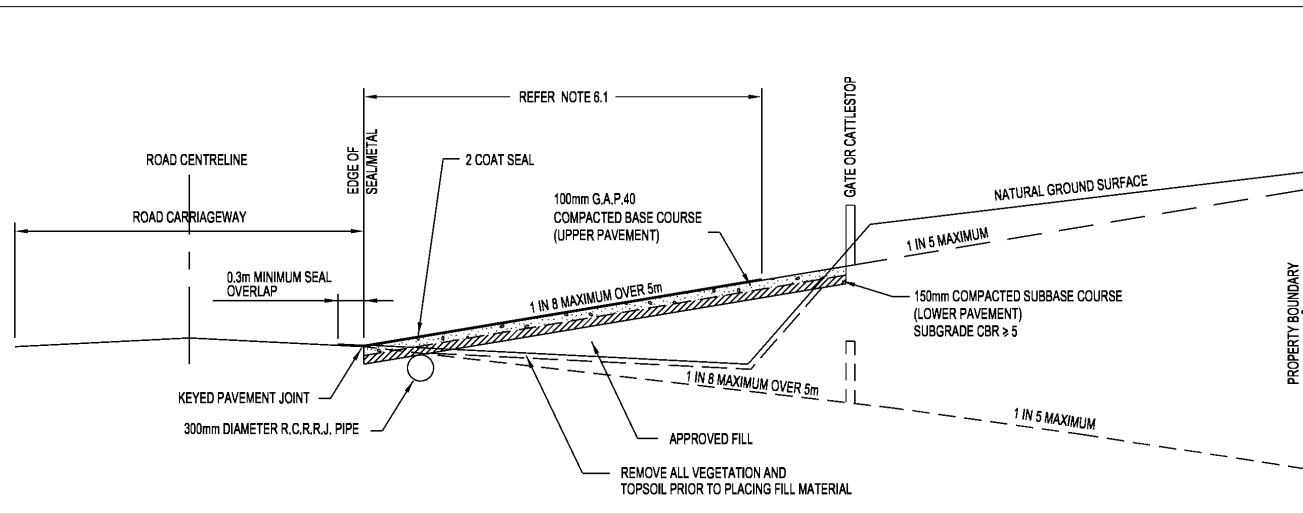
6.0 SURFACING:

- A chip sealed pavement shall adopt a Grade 3 and 5 two coat seal.
- A minimum of a prime coat seal is required if AC surfacing is proposed.
- Within the Hauraki Plains all concrete surfaced entrances shall be reinforced with 665 mesh, adopting 30mm cover, within the tension zone.
- The surfacing shall extend the lesser of the distance to the property boundary or 5m from the edge of seal.
- No additional surfacing (sealing) over the base course material is required, if the entrance is off a metal road.

CLASS A: STANDARD ARTICULATED VEHICLE CROSSING  
IN RURAL AREA

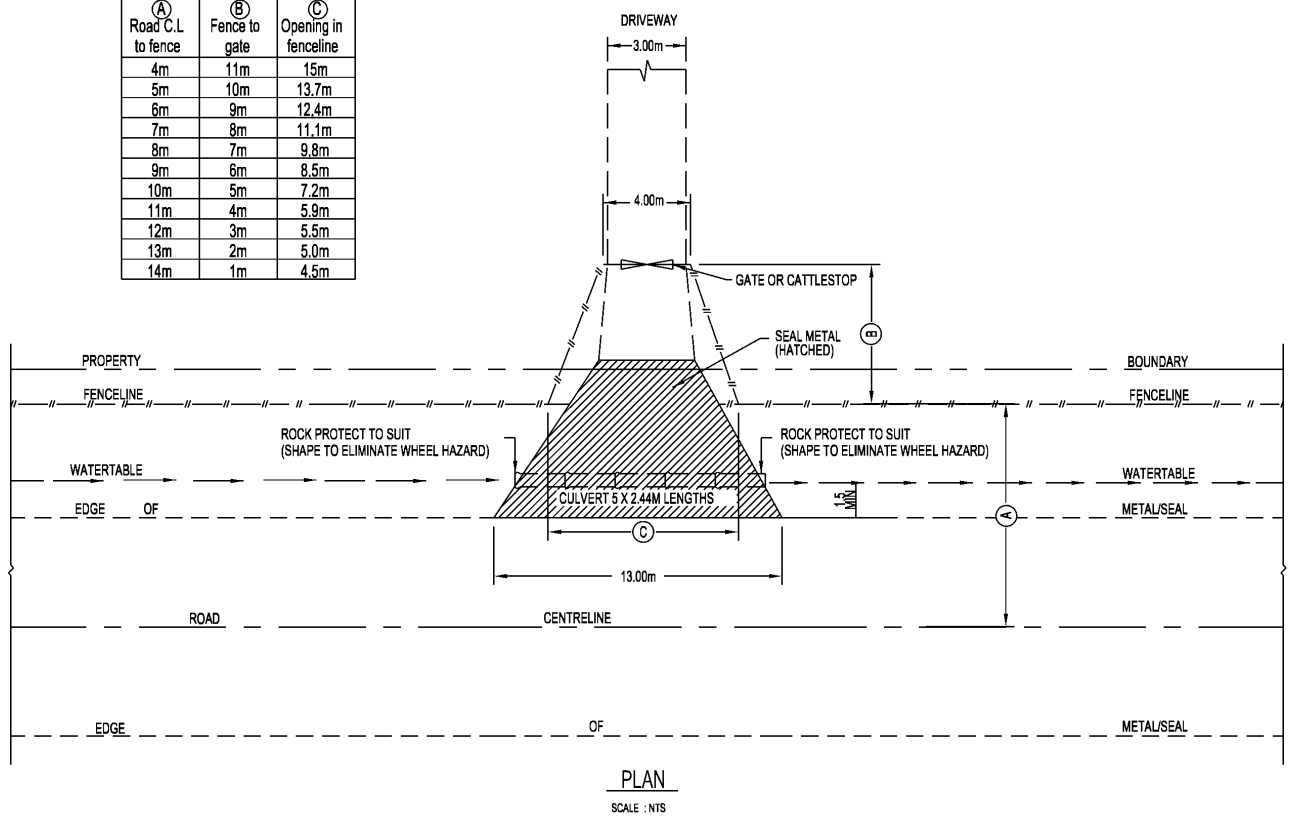
HAURAKI DISTRICT COUNCIL

HDC - 301



GATE & FENCE SETOUT TABLE

(A) Road C.L to fence	(B) Fence to gate	(C) Opening in fenceline
4m	11m	15m
5m	10m	13.7m
6m	9m	12.4m
7m	8m	11.1m
8m	7m	9.8m
9m	6m	8.5m
10m	5m	7.2m
11m	4m	5.9m
12m	3m	5.5m
13m	2m	5.0m
14m	1m	4.5m



NOTES:

1.0 GENERAL:

- 1.1 All works shall be constructed in accordance with the following notes and to the satisfaction of the Engineering Services Manager or his representative. Additional requirements to those shown on this drawing may be necessary for a particular location and will be determined on site.
- 1.2 Any work undertaken in the road reserve will require a street opening permit and traffic management plan to be submitted for approval 10 working days before work commences. Any enquiries regarding this procedure may be directed to the Business Unit Administrator, on 07-862 8609.
- 1.3 Vehicle entrances construction will require a vehicle crossing permit. Please contact the Business Unit Administrator, on 07-862 8609, to proceed with the application of the permit 5 working days before commencement of any work on the entrances.
- 1.4 The constructor shall be responsible for road works signage while undertaking work on the road carriageway. All signage shall be in accordance with NZTA handbook for Temporary Traffic Control And Safety At Roadworks sites.
- 1.5 The constructor shall be responsible for the cost of repairs to any Underground Utility Service damaged during construction. Any damage shall be rectified to the satisfaction of the relevant Asset Manager.
- 1.6 A Class B Vehicle Crossing is deemed to be adequate to accommodate a 10m long vehicle with a maximum radius of 9.0m.

2.0 LOCATION:

- 2.1 Entrance locations shall be where approved by HDC or NZTA if located on a State Highway.
- 2.2 Minimum entrance sight distances are:

Speed Environment (km/h)	From vehicle entrance generating up to and including 40 vehicle movements per day	From vehicle entrance generating more than 40 vehicle movements per day
40	40m	70m
50	60m	90m
60	80m	115m
70	100m	140m
80	130m	175m
90	160m	210m
100	200m	250m
110	240m	290m
120		330m

- 2.3 Refer to HDC DM diagram HDC 306 for rural accessway minimum entrance separation distances.

3.0 CULVERT:

- 3.1 If an entrance crosses a Council drain the Contractor shall obtain written approval with culvert sizing from the Hauraki District Council Drainage Asset Manager prior to commencement of construction.
- 3.2 If an entrance crosses a natural watercourse a resource consent may be required from the Waikato Regional Council (Environment Waikato).
- 3.3 If an entrance crosses a small drain, watercourse or water table a culvert shall be installed.
- 3.4 If the entrance crosses a watertable or small drain (less than 2m wide by 1m deep) A 300mm diameter minimum. Reinforced Concrete Rubber Ring Joint (RCRRJ) Class 4 or its equivalent pipe shall be installed. Concrete capping is required where cover <0.25m.
- 3.5 Any unsuitable bedding material including vegetation, topsoil and peat shall be removed and replaced with 100mm pit sand or G.A.P. 40 or its equivalent if required.
- 3.6 All culverts shall be laid straight at a constant grade between 1.5 and 8.5m from the pavement edge. Socket end shall always be uphill.

4.0 LOWER PAVEMENT:

- 4.1 150mm nominal depth approved GAP 65 subbase course. Additional undercut and backfill as required where soft spots occur. Reduce the depth to 80mm and backfill with GAP 40 if concrete surfacing is adopted.
- 4.2 Alternative subbase materials can be used (quarry strippings/brownrock) with pavement design approval by the HDC Engineering Services Manager.
- 4.3 The subbase depth shall be increased from 80mm to 150mm within the Hauraki Plains where concrete surfacing is proposed.
- 4.4 Full depth pavement to extend to gate/cattle stop.

5.0 UPPER PAVEMENT:

- 5.1 100mm nominal depth approved GAP 40 base course constructed above the subbase course layer where a sealed/AC surface is proposed.
- 5.2 No base course installation is required if a concrete entrance is proposed. A minimum 150mm concrete depth is required.

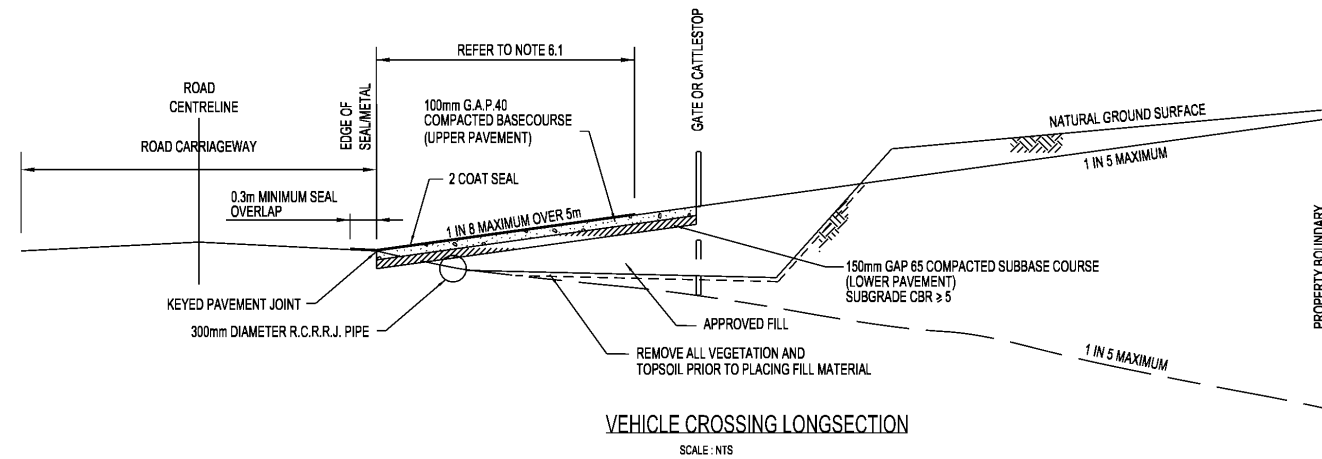
6.0 SURFACING:

- 6.1 A chip sealed pavement shall adopt a Grade 3 and 5 two coat seal.
- 6.2 A minimum of a prime coat seal is required if AC surfacing is proposed.
- 6.3 Within the Hauraki Plains all concrete surfaced entrances shall be reinforced with 665 mesh, adopting 30mm cover, within the tension zone.
- 6.4 The surfacing shall extend the lesser of the distance to the property boundary or 5m from the edge of seal.
- 6.5 No additional surfacing (sealing) over the basecourse material is required, if the entrance is off a metal road.

**CLASS B: STANDARD RURAL VEHICLE CROSSING FOR ALL ACTIVITIES THAT DO NOT REQUIRE A CLASS A CROSSING NOR ARE RESIDENTIAL ACTIVITIES IN THE RURAL AREA**

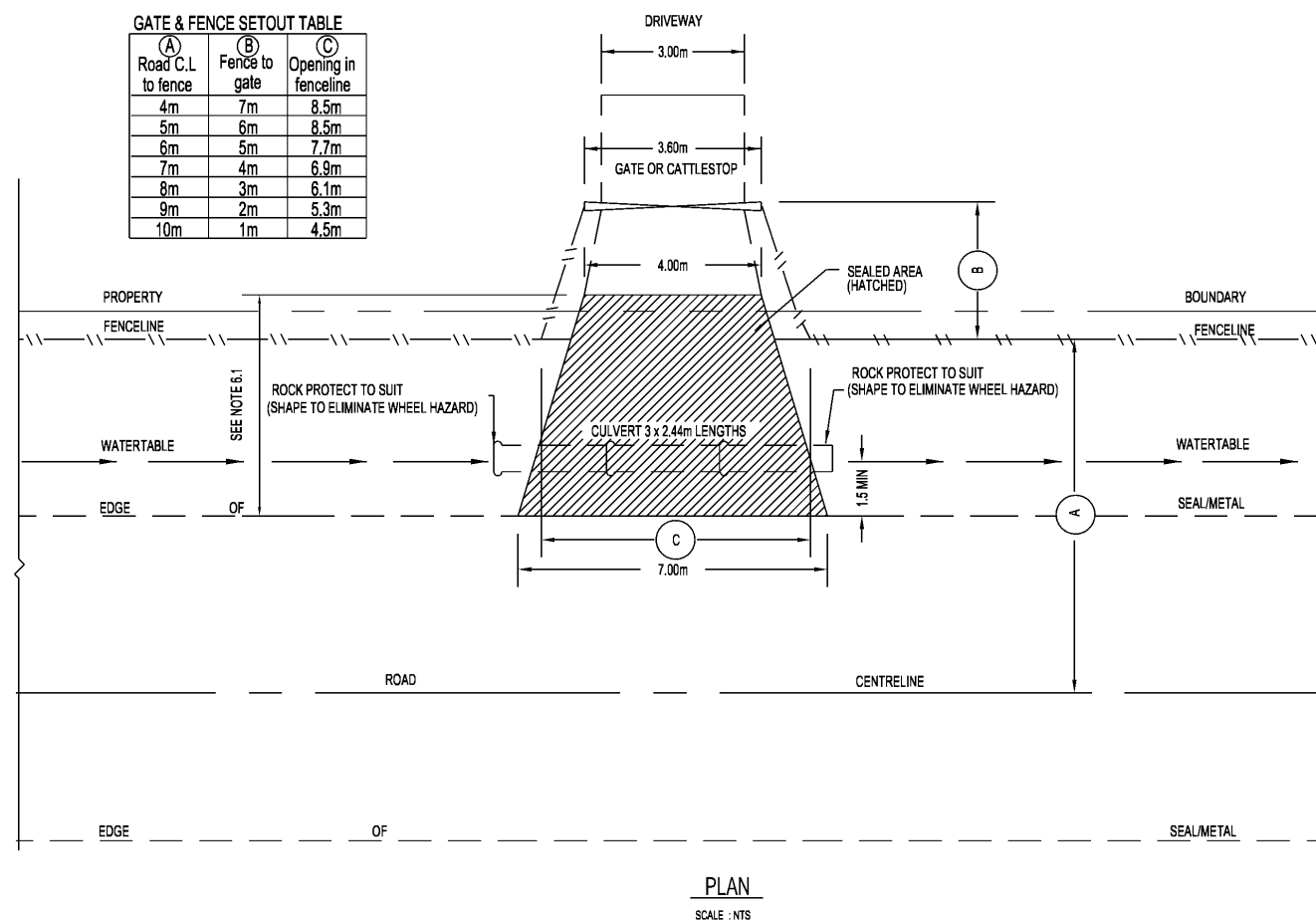
**HAURAKI DISTRICT COUNCIL**

**HDC - 302**



**GATE & FENCE SETOUT TABLE**

(A) Road C.L. to fence	(B) Fence to gate	(C) Opening in fenceline
4m	7m	8.5m
5m	6m	8.5m
6m	5m	7.7m
7m	4m	6.9m
8m	3m	6.1m
9m	2m	5.3m
10m	1m	4.5m



**NOTES:**

**1.0 GENERAL:**

- 1.1 All works shall be constructed in accordance with the following notes and to the satisfaction of the Engineering Services manager or his representative. Additional requirements to those shown on this drawing may be necessary for particular location and will be determined on site.
- 1.2 Any work undertaken in the road reserve will require a street opening permit and traffic management plan to be submitted for approval 10 working days before work commences. Any enquiries regarding this procedure may be directed to the Business Unit Administrator, on 07-862 8609.
- 1.3 Vehicle entrance construction will require a vehicle crossing permit. Please contact the Business Unit Administrator, on 07-862 8609 to proceed with the application of the permit 5 working days before commencement of any work on the entrances.
- 1.4 The constructor shall be responsible for road works signage while undertaking work on the road carriageway. All signage shall be in accordance with NZTA handbook for Temporary Traffic Control And Safety At Roadworks sites.
- 1.5 The constructor shall be responsible for the cost of repairs to any Underground Utility Service damaged during construction. Any damage shall be rectified to the satisfaction of the relevant Asset Manager.
- 1.6 A Class C Vehicle Crossing is deemed to be adequate to accommodate a 5m long car turning into a property at a radius of 7.5m.

**2.0 LOCATION:**

- 2.1 Entrance locations shall be where approved by HDC or NZTA if located on a State Highway.
- 2.2 Minimum entrance sight distances are:

Speed Environment (km/h)	From vehicle entrance generating up to and including 40 vehicle movements per day	From vehicle entrance generating more than 40 vehicle movements per day
40	40m	70m
50	60m	90m
60	80m	115m
70	100m	140m
80	130m	175m
90	160m	210m
100	200m	250m
110	240m	290m
120		330m

- 2.3 Refer to HDC DM diagram HDC 306 for rural accessway minimum entrance separation distances.

**3.0 CULVERT:**

- 3.1 If an entrance crosses a Council drain the Contractor shall obtain written approval with culvert sizing from the Hauraki District Council Drainage Asset Manager prior to commencement of construction.
- 3.2 If an entrance crosses a natural watercourse a resource consent may be required from the Waikato Regional Council (Environment Waikato).
- 3.3 If an entrance crosses a small drain, watercourse or water table a culvert shall be installed.
- 3.4 If the entrance crosses a watertable or small drain (less than 2m wide by 1m deep) A 300mm diameter minimum. Reinforced Concrete Rubber Ring Joint (RCRRJ) Class 4 or its equivalent pipe shall be installed. Concrete capping is required where cover < 0.25m.
- 3.5 Any unsuitable bedding material including vegetation, topsoil and peat shall be removed and replaced with 100mm pit sand or G.A.P. 40 or its equivalent if required.
- 3.6 All culverts shall be laid straight at a constant grade between 1.5 and 8.5m from the pavement edge. Socket end shall always be uphill.

**4.0 LOWER PAVEMENT:**

- 4.1 150mm nominal depth approved GAP 65 subbase course. Additional undercut and backfill as required where soft spots occur. Reduce the depth to 80mm and backfill with GAP 40 if concrete surfacing is adopted.
- 4.2 Alternative subbase materials can be used (quarry strippings/brownrock) with pavement design approval by the HDC Engineering Services Manager.
- 4.3 The subbase depth shall be increased from 80mm to 150mm within the Hauraki Plains where concrete surfacing is proposed.
- 4.4 Full depth pavement to extend to gate/cattle stop.

**5.0 UPPER PAVEMENT:**

- 5.1 100mm nominal depth approved GAP 40 base course constructed above the subbase course layer where a sealed/AC surface is proposed.
- 5.2 No base course installation is required if a concrete entrance is proposed. A minimum 150mm concrete depth is required.

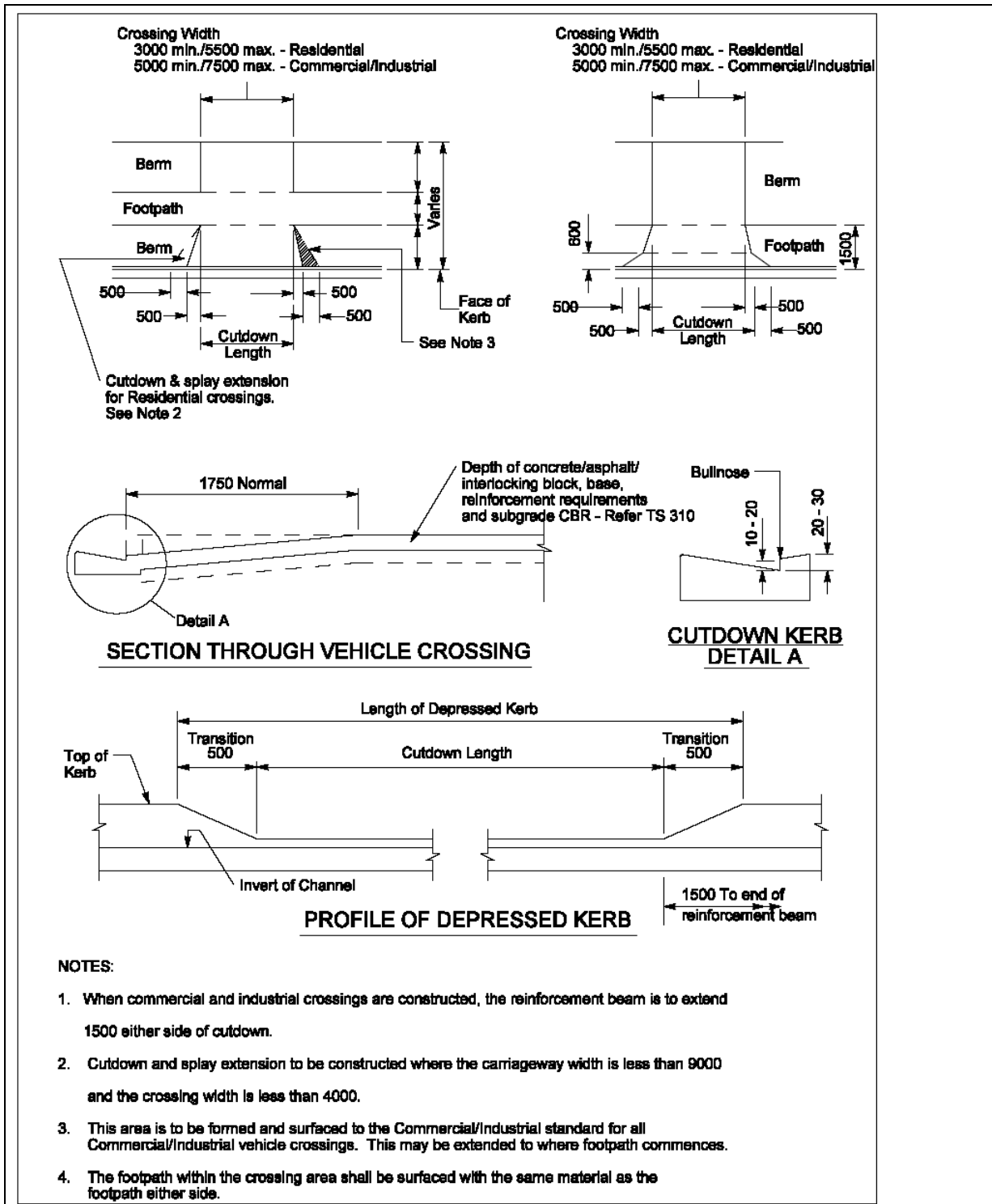
**6.0 SURFACING:**

- 6.1 A chip sealed pavement shall adopt a Grade 3 and 5 two coat seal.
- 6.2 A minimum of a prime coat seal is required if AC surfacing is proposed.
- 6.3 Within the Hauraki Plains all concrete surfaced entrances shall be reinforced with 665 mesh, adopting 30mm cover, within the tension zone.
- 6.4 The surfacing shall extend the lesser of the distance to the property boundary or 5m from the edge of seal.
- 6.5 No additional surfacing (sealing) over the basecourse material is required, if the entrance is off a metal road.

**CLASS C: STANDARD VEHICLE CROSSING FOR RESIDENTIAL ACTIVITIES IN RURAL AREA, LOW DENSITY RESIDENTIAL, RESERVE (ACTIVE) AND RESERVE (PASSIVE) ZONES**

**HAURAKI DISTRICT COUNCIL**

**HDC - 303**



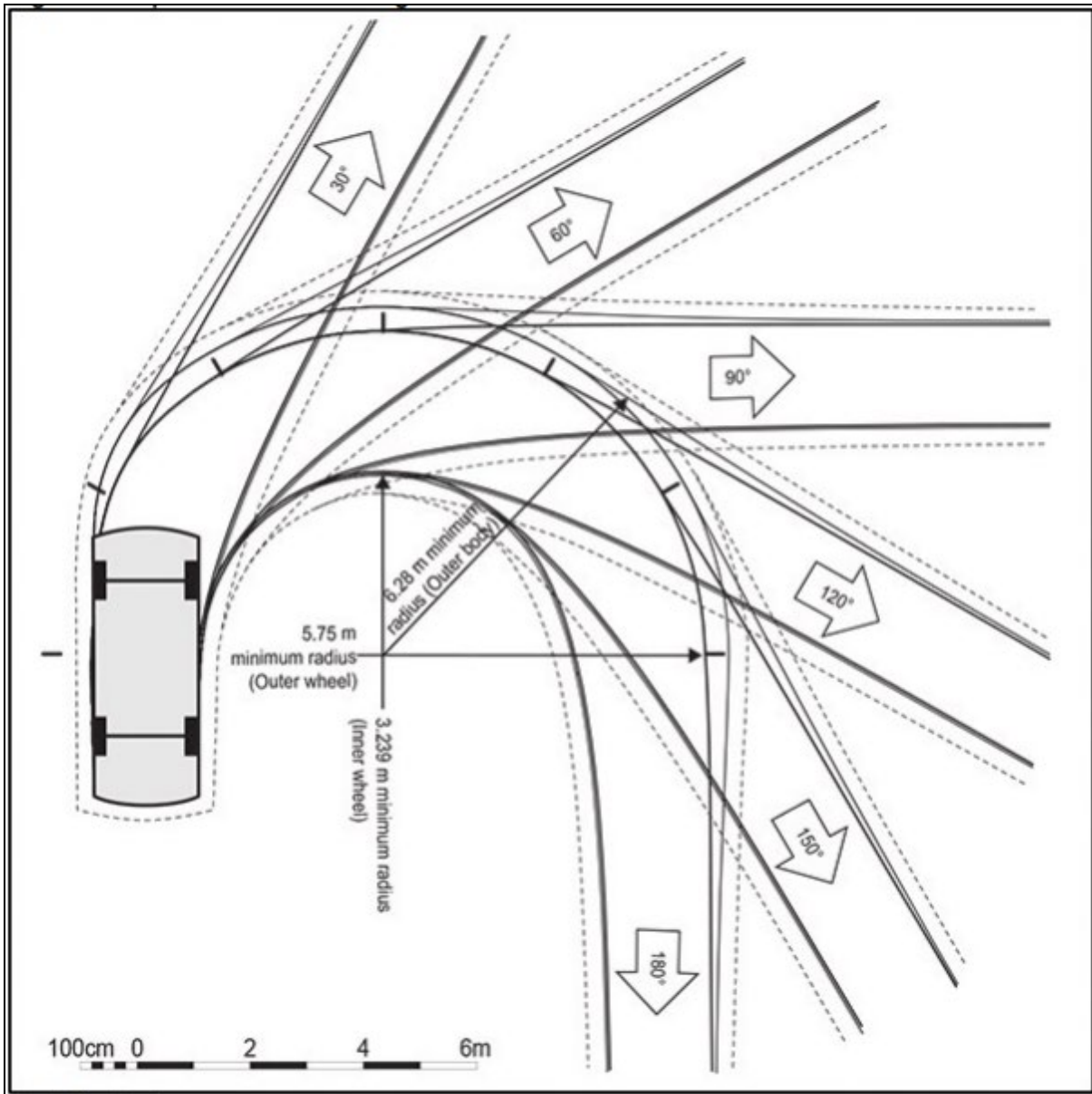
Class D: Standard Commercial/Industrial Vehicle Entrance for *non-residential activities* in the *Urban Area* (including on streets without kerb and channel).

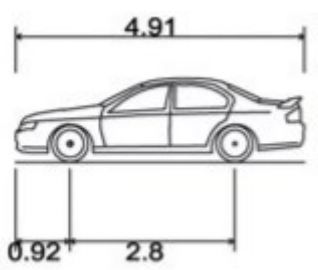
Class E: Standard Residential Vehicle Entrance for *residential activities* in the *Urban Area* (including on streets without kerb and channel).



### 85 PERCENTILE CAR-TRACKING CURVES

Car dimensions and turning curves are as per AS/NZS 2890.1:2004 Parking Facilities



	<p><b>B85 Vehicle (Realistic min radius) (2004)</b></p> <table border="0"> <tr> <td>Overall length</td> <td>4.910m</td> </tr> <tr> <td>Overall width</td> <td>1.870m</td> </tr> <tr> <td>Overall body height</td> <td>1.421m</td> </tr> <tr> <td>Min body ground clearance</td> <td>0.159m</td> </tr> <tr> <td>Track width</td> <td>1.770m</td> </tr> <tr> <td>Lock to lock time</td> <td>4.00sec</td> </tr> <tr> <td>Curb to curb turning radius</td> <td>5.750m</td> </tr> </table>	Overall length	4.910m	Overall width	1.870m	Overall body height	1.421m	Min body ground clearance	0.159m	Track width	1.770m	Lock to lock time	4.00sec	Curb to curb turning radius	5.750m
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## 8.6.15 APPENDIX 14: PAEROA RACECOURSE STRUCTURE PLAN

### 8.6.15.1 DESCRIPTION

(1) This structure plan applies to the land contained within Lots 46 and 48 DP 538159, being an area of 33.28 hectares on the north-eastern side of Paeroa, and to the east of State Highway 26.

(2) The area is to be comprehensively developed for a mix of residential and commercial purposes having regard to the site's varied history from pre-European use through to the recently defunct Paeroa Racecourse, which has historically been used for horse racing since 1876 until its decommissioning in 2005. Special character and landscape-led design are key components of the structure plan. Development on the site must have regard to the following requirements:

#### (a) Activities

The majority of the structure plan area provides for residential development interspersed with open space for recreation and utility purposes, as illustrated on the structure plan. In addition, two Precincts are identified – both intended to accommodate commercial use alongside residential activity but unique in character – one fronting Thames Road, which is proposed to be screened by Reserve (Passive) zoned land that accommodates a landscaped buffer to the street and connectivity for pedestrian and cycling movement within the site. A portion of the Reserve (Passive) zoned land in front of this 'Commercial Precinct' is identified on the Structure Plan as a "Signage Overlay". This area enables signage, located within a landscaped street interface, associated with the commercial tenancies within the site and to ensure visibility to and from Thames Road. The other commercial precinct is identified in the south-western corner of the structure plan area and is intended to accommodate adaptive re-use of the Racecourse buildings, provision of a new chapel and to preserve and protect existing trees in this location for amenity and their contribution towards special character. Commercial activities within the structure plan area are focused on community, tourism-related activities and small-scale retail, office and services that are commensurate with the structure plan's complementary role to Paeroa town centre as the primary focus for commercial activities.

#### (b) Special Character

The site has a unique and varied history from pre-European use through to the recently defunct Racecourse. The structure plan seeks to celebrate the special character of its former uses, through place-making, landscape planting and retention and adaptive re-use of the Racecourse buildings, where possible. The south-western corner is therefore subject to a Precinct notation – the "Special Character Precinct" – that supports the re-use of those buildings and their surrounds, largely for community and hospitality uses.

#### (c) Landscape

The structure plan seeks to develop the site in a landscape-led design strategy, with a focus on high-quality landscaped public realm, including streets, and provision of a comprehensive landscaped planting strategy across the site. This includes retention of existing trees where they make a contribution to amenity, natural character, ecological and biodiversity values, most notably in the south-western corner of the site, where trees are scheduled in

accordance with Section 6.4 of the District Plan, to preserve the existing mature trees as well as to support landscaped buffers to external boundaries.

**(d) Access**

The roading and pedestrian/cycleway layout as shown in the structure plan ensures that the most suitable access connections to the existing roading network, internal circulation and access connections to each stage of development are provided. The development shall prioritise safety of road users, cyclists and pedestrians in order to achieve a safe and enjoyable travel experience.

**(e) Water**

The area is to be reticulated via an extension of the public water supply network from Thames Road. The design for each stage, and each individual development or subdivision, is to implement this by providing for the reticulation of the whole structure plan area, minimising the number of water mains and maximising the use of existing water infrastructure.

**(f) Wastewater**

The area is to be reticulated for sewage disposal via an extension of the public wastewater reticulation in accordance with the Paeroa-wide servicing strategy. The design for each stage, and for each individual development or subdivision within each stage, is to implement this by providing for the servicing of the total area in a comprehensive and efficient manner, minimising the number of main sewers, rising mains and pump stations required and including appropriate linkages to the existing reticulation.

**(g) Stormwater**

The area is to be reticulated for stormwater disposal via extension of the public system and in general accordance with the Stormwater Management Plan prepared for the structure plan area. This includes the provision for on-site water quality treatment via existing devices, stream protection and downstream flood considerations. The design for each stage, and each individual development or subdivision, is to implement this by providing for the servicing of the whole structure plan area, minimising the number of stormwater mains required.

### 8.6.15.2 ISSUES

- (1) Land suitable for greenfield development in Paeroa is constrained by a number of geographic features (e.g. Ohinemuri River), and lower lying land that is an essential part of the land drainage system that allows water from storm events to be stored and released so as to attenuate potential flood flows. Accordingly, the land that is available for development needs to be used wisely. In addition, development on land that is contiguous to existing urban environments needs to be undertaken giving effect to good quality urban design principles and integrating that development with the surrounding urban fabric of Paeroa as a well-functioning urban environment.
- (2) Unplanned development of this Greenfield area could result in:
  - (a) Inefficiencies in the provision of infrastructure and longer term operation and maintenance costs, having regard to the potential for unplanned urban sprawl and associated inefficiency in urban form.

- (b) Access provisions for all modes of transport giving poor connectivity and linkages to the existing residential area locally and the town centre further afield, and the road network and poor traffic flows through the new residential area, as well as poor safety and amenity outcomes for pedestrians and cyclists in particular.
- (c) Adverse effects on the vitality, viability and amenity of the Paeroa town centre through unplanned retail distribution.
- (d) Adverse effects on the amenity of surrounding residential and rural residential properties.
- (e) Adverse effects on the natural environment and natural character.

### 8.6.15.3 PURPOSE

- (1) The structure plan seeks to ensure that this area is developed in a well-planned and comprehensive manner having regard to:
  - (a) Quality urban design principles incorporating consideration of public open space and amenity, landscape and special character;
  - (b) Transportation links and on-site connectivity and access;
  - (c) Efficient infrastructure, integrated with land use and development;
  - (d) Efficient use of residential land;
  - (e) Complementary commercial and tourism activities ancillary to the activities usually accommodated in the Paeroa town centre.

### 8.6.15.4 OBJECTIVES

- (1) A safe, useable and attractive residential environment is provided.
- (2) An attractive commercial environment is provided, of a scale commensurate with the structure plan area's new residential growth, remaining complementary to, rather than competing with the Paeroa town centre environment in terms of function and uses, with a focus on community, tourism-related activities and small-scale retail, offices and services. Development within identified commercial precincts is designed in consideration of surrounding residential amenity.
- (3) A high-quality public realm is provided, incorporating active and passive recreation space, pedestrian and cycle links and streets.
- (4) A comprehensive, site-wide landscape strategy is provided within the public realm to maintain and enhance on-site and surrounding amenity, natural values and to complement special character.
- (5) Cost efficient and effective infrastructure is provided in a staged manner, commensurate with the scale of development.
- (6) A safe and effective transport network is designed to deliver safe and attractive streets and linkages for residents, visitors, cyclists and motorists into, out of, and within the structure plan area.

#### 8.6.15.5 POLICIES

- (1) Ensuring that good quality urban design principles for residential development are implemented.
- (2) Ensuring that good quality urban design principles for commercial development are implemented, having regard to the interface with residential development, the public realm and Thames Road (State Highway 26).
- (3) Ensuring that commercial activities are commensurate with the form and function of the structure plan area and do not result in unacceptable adverse effects on the vitality, role and amenity of the Paeroa town centre, nor on surrounding residential amenity. The primary focus of commercial activities provided for in the identified precincts includes community uses, tourism-related activities and other small-scale commercial uses.
- (4) Key linkages and open space identified on the structure plan are considered in terms of their implementation and also in respect of development creating an appropriate interface at the boundary with Reserve (Passive) zoned land.
- (5) Requiring development infrastructure to be undertaken in an integrated, staged and strategic manner to give effect to Objective 8.6.15.4(5).

#### 8.6.15.6 ACTIVITY STATUS AND RULES FOR SUBDIVISION

- (1) *Subdivision* of Lots 46 and 48 DP 538159 in accordance with the provisions of the Paeroa Racecourse structure plan Description and Maps shall be a *Controlled Activity*, provided that it also complies with:

- (a) Structure Plan Subdivision Standards in Section 8.6.15.7(1)
- (b) Specific and District Wide provisions in Section 7.0;
- (c) District Wide Performance Standards in Section 8.0;
- (d) *Subdivision* rules in Section 9.0.

*Conditions* may be imposed in relation to the matters over which control has been reserved as specified in Rules 9.4.3.3 and 9.5 and the following:

- (i) Whether the *subdivision* assists in the implementation of integrated infrastructure to serve the whole Paeroa Racecourse Structure Plan area, including confirmation of staging infrastructure relative to development stages.
- (ii) Whether the *subdivision* is consistent with the Paeroa Racecourse Stormwater Design that has been prepared in accordance with 8.6.15.7(1)(d) and (e).
- (iii) Whether the *subdivision* delivers on and contributes to a high-quality public realm and the comprehensive landscaped strategy envisaged by the structure plan, including in regard to the structure plan cross-sections for streets.
- (iv) Whether all further site investigation as recommended in the report 'Preliminary Geotechnical Assessment, WSP, 2021' has been undertaken by a suitably qualified expert.
- (v) Whether a detailed ecological assessment by a suitably qualified expert has been undertaken.

- (2) *Subdivision* of Lots 46 and 48 DP 538159 not in accordance with Rule 8.6.15.6(1)(b), (c) or (d) shall have the same activity status as that specified in either Section 7.0, 8.0 or 9.0.
- (3) *Subdivision* of Lots 46 and 48 DP 538159 not in accordance with the details of the structure plan Description and Maps, and *Subdivision* that does not comply with the *Subdivision Standards* at 8.6.15.7(1)(c) shall be a *Discretionary Activity*.
- (4) *Subdivision* of Lots 46 and 48 DP 538159 that does not comply with the *Subdivision Standards* at 8.6.15.7(1)(a), (b), (d) and (e) shall be a *Non-complying Activity*.

#### 8.6.15.7 SUBDIVISION STANDARDS

- (1) *Subdivision* must:
  - (a) Be accompanied by a staging plan to be certified by *Council*, ensuring delivery of new *lots* and *development* is integrated with implementation of staged infrastructure, including *roads* and internal access networks, complete with landscape design for the public realm.
  - (b) Demonstrate that a roundabout access at the intersection of Norwood Road and Thames Road has been designed, certified and constructed to *Council's* satisfaction as part of Stage 1 of the *subdivision*.
  - (c) Not occur until it has been demonstrated that the *subdivision* can be appropriately serviced with connection to public networks for water and wastewater.
  - (d) Not occur until an overall stormwater design that has been peer reviewed by an independent and suitably qualified stormwater expert, has been approved by the *Council* as part of Stage 1 of the *subdivision*. For clarity, this overall design shall include a staging plan that will prescribe at which stage stormwater devices will need to be built, and be submitted, peer reviewed and approved for the entire site, and shall deliver hydraulic neutrality.
  - (e) Demonstrate that subsequent stages of *subdivision* and *development* are in accordance with the overall stormwater design in (d).

## RESIDENTIAL ZONE

#### 8.6.15.8 ACTIVITY STATUS AND RULES FOR DEVELOPMENT

The underlying Residential zone provisions in Section 5.7 apply. Where there is conflict between the rules in Section 5.7 and the rules in Section 8.6.15.8 the rules in Sections 8.6.15.9 - 8.6.15.18 override the underlying zone provisions.

For the avoidance of doubt, the provisions of 8.6.15.9 – 8.6.15.18 do not apply to either the Commercial Precinct or Special Character Precinct within the Paeroa Racecourse Structure Plan area.

#### 8.6.15.9 PERMITTED ACTIVITIES

- (1) Any activity listed as a *Permitted Activity* in Rule 5.7.4.1 Residential Zone is a *Permitted Activity* in the Residential zoned land in the Paeroa Racecourse Structure Plan area, provided that the development:

- (a) Is in accordance with and within land that has been subdivided under the provisions of Rule 8.6.15.6 and *Certificates of Title* have been issued;
- (b) Complies with the relevant *Zone Development Standards* specified in Rule 5.7.5;
- (c) Complies with the Activity Specific Standards specified in Rule 5.7.6;
- (d) Complies with the Conservation and Heritage provisions in Section 6.0;
- (e) Complies with the Specific and District Wide provisions in Section 7.0;
- (f) Complies with the District Wide Performance Standards in Section 8.0.

#### 8.6.15.10 CONTROLLED ACTIVITIES

(1) Any activity listed as a *Controlled Activity* in Rule 5.7.4.2 Residential Zone is a *Controlled Activity* in the Paeroa Racecourse Structure Plan area, provided that the development:

- (a) Is in accordance with and within land that has been subdivided under the provisions of Rule 8.6.15.6 and *Certificates of Title* have been issued;
- (b) Complies with the *Zone Development Standards* specified in Rule 5.7.5;
- (c) Complies with the Activity Specific Standards specified in Rule 5.7.6;
- (d) Complies with the Conservation and Heritage provisions in Section 6.0;
- (e) Complies with the Specific and District Wide provisions in Section 7.0;
- (f) Complies with the District Wide Performance Standards in Section 8.0.

#### 8.6.15.11 CONTROLLED ACTIVITY MATTERS

(1) *Conditions* may be imposed in relation to the matters over which control has been reserved as specified in Rule 5.7.4.2 and the following:

- (a) Whether the *development* assists in the implementation of integrated infrastructure to serve the whole Paeroa Racecourse Structure Plan area.
- (b) Whether the *development* delivers on and contributes to a high-quality public realm and the comprehensive landscape strategy envisaged by the structure plan, including in regard to the structure plan cross-sections for streets.

#### 8.6.15.12 RESTRICTED DISCRETIONARY ACTIVITIES

(1) Any activity listed below and as a *Restricted Discretionary Activity* in Rule 5.7.4.3 Residential Zone is a *Restricted Discretionary Activity* in the Residential zoned land in the Paeroa Racecourse Structure Plan area:

- (a) *Visitor accommodation* accommodating greater than 10 people per *site* inclusive of staff and visitors;

Provided that the *development*:

- (i) Is in accordance with and within land that has been subdivided under the provisions of Rule 8.6.15.6 and *Certificates of Title* have been issued;

- (ii) Does not exceed Restricted Discretionary *Zone Development Standards* specified in Rule 5.7.5, except for *visitor accommodation* accommodating greater than 10 people;
- (iii) Complies with the Activity Specific Standards specified in Rule 5.7.6 excluding 5.7.6(3) for *visitor accommodation* accommodating greater than 10 people;
- (iv) Complies with Activity Specific Standards and Development Standards 8.6.15.17(1) in respect of *visitor accommodation* accommodating greater than 10 people per *site* inclusive of staff and visitors;
- (v) Complies with the Conservation and Heritage provisions in Section 6.0;
- (vi) Complies with the Specific and District Wide provisions in Section 7.0;
- (vii) Complies with the District Wide Performance Standards in Section 8.0.

#### 8.6.15.13 RESTRICTED DISCRETIONARY ASSESSMENT MATTERS

- (1) *Conditions* may be imposed in relation to the matters over which the *Council* has exercised its discretion in 5.7.4.3 and 8.6.15.18(1).

#### 8.6.15.14 DISCRETIONARY ACTIVITIES

- (1) Any activity listed below and as a *Discretionary Activity* in Rule 5.7.4.4 Residential Zone is a *Discretionary Activity* in the Residential zoned land in the Paeroa Racecourse Structure Plan area:
- (a) Any activity listed in 8.6.15.12(1) that does not meet the Activity Specific Standards and Development Standards specified in 8.6.15.17(1).

**Note:** The Conservation and Heritage provisions in Section 6.0 and the Specific and District Wide provisions in Section 7.0 also apply and may alter the *Discretionary Activity* status for the activities specified above or require additional resource consents.

#### 8.6.15.15 NON COMPLYING ACTIVITIES

- (1) Any activity listed below and as a *Non Complying Activity* in Rule 5.7.4.5 Residential Zone is a *Non-Complying Activity* in the Residential zoned land in the Paeroa Racecourse Structure Plan area.
- (a) Any *Permitted, Controlled* or *Restricted Discretionary Activity* listed in Rules 8.6.15.9, 8.6.15.10 and 8.6.15.12 that is located on land that has not been subdivided under the provisions of Rule 8.6.15.6 and *Certificates of Title* have not been issued.

#### 8.6.15.16 PROHIBITED ACTIVITIES

- (1) Any activity listed as a *Prohibited Activity* in Rule 5.7.4.6 Residential Zone is a *Prohibited Activity* in the Residential zoned land in the Paeroa Racecourse Structure Plan area.



### 8.6.15.17 ACTIVITY SPECIFIC STANDARDS AND DEVELOPMENT STANDARDS

- (1) Activity Specific Standards – *Visitor Accommodation* in the Residential zoned land in the Paeroa Racecourse Structure Plan area.
- (a) *Visitor accommodation* is subject to the following activity specific standards. For the avoidance of doubt, the provisions in Rules 5.7.5 and 5.7.6(3) do not apply to *visitor accommodation* accommodating greater than 10 people per *site* inclusive of staff and visitors. Such *Visitor Accommodation* is a *Restricted Discretionary Activity* subject to compliance with the following Development Standards:
- (i) One only *visitor accommodation* activity accommodating greater than 10 people per *site* inclusive of staff and visitors is provided for in the Residential zone within the Paeroa Racecourse Structure Plan area.
- (ii) Maximum *height*: shall not exceed 9m.
- (iii) *Daylight control*: No building shall project above 2m in *height* at any *site* boundary and not project above a 45-degree plane into the *site* up to the maximum *height*.
- (iv) Minimum *Front Yard*: 4.5m; *Other Yards*: 1.5m.

### 8.6.15.18 MATTERS OF DISCRETION FOR VISITOR ACCOMMODATION ACTIVITY

- (1) Matters of Discretion for *Visitor Accommodation Activity* provided for in Rule 8.6.15.12(1):
- (a) *Conditions* may be imposed in relation to the matters over which the *Council* has exercised its discretion as listed below:
- (i) The effects on the neighbourhood character, residential *amenity*, safety, and the surrounding residential area from all of the following:
- (1) *Building* intensity, scale, location, form and appearance;
  - (2) Landscaping, including boundary treatment;
  - (3) Traffic;
  - (4) Location and design of parking and access; and
  - (5) Noise, lighting and hours of operation.
- (b) Infrastructure and servicing.

## COMMERCIAL PRECINCT

### 8.6.15.19 ACTIVITY STATUS AND RULES FOR DEVELOPMENT

The underlying Residential zone provisions in Section 5.7 do not apply to *development* in the Commercial Precinct within the Paeroa Racecourse Structure Plan area since the following rules in Section 8.6.15.20 - 8.6.15.27 override those underlying zone provisions.

### 8.6.15.20 PERMITTED ACTIVITIES

- (1) Any activity listed below is a *Permitted Activity* in the Commercial Precinct within the Paeroa Racecourse Structure Plan area,

- (a) *Business Activities* except where specifically listed otherwise;
- (b) One *dairy* of up to 500m<sup>2</sup> GFA;
- (c) *Retail activity* up to a maximum total GFA of 1,000m<sup>2</sup> (including the one permitted *dairy* in (b) above);
- (d) *Office activity* up to a maximum total GFA of 600m<sup>2</sup>;
- (e) *Healthcare services* and medical facilities;
- (f) *Residential Activities* above ground floor

Provided that the development:

- (i) Is in accordance with and within land that has been subdivided under the provisions of Rule 8.6.15.6 and *Certificates of Title* have been issued;
- (ii) Complies with the Paeroa Racecourse Structure Plan – Commercial Precinct Development Standards specified in Rule 8.6.15.26(1);
- (iii) Complies with the Conservation and Heritage provisions in Section 6.0;
- (iv) Complies with the Specific and District Wide provisions in Section 7.0;
- (v) Complies with the District Wide Performance Standards in Section 8.0.

#### 8.6.15.21 RESTRICTED DISCRETIONARY ACTIVITIES

(1) Any activity listed below is a *Restricted Discretionary Activity* in the Commercial Precinct within the Paeroa Racecourse Structure Plan area:

- (a) Any *Permitted Activity* that does not comply with the Commercial Precinct Development Standards in Rule 8.6.15.26(1);
- (b) Any *retail activity* not otherwise provided for as a *Permitted Activity*;
- (c) Any *office activity* not otherwise provided for as a *Permitted Activity*;

Provided that the development:

- (i) Is in accordance with and within land that has been subdivided under the provisions of Rule 8.6.15.6 and *Certificates of Title* have been issued;
- (ii) Complies with the Conservation and Heritage provisions in Section 6.0;
- (iii) Complies with the Specific and District Wide provisions in Section 7.0;
- (iv) Complies with the District Wide Performance Standards in Section 8.0.

#### 8.6.15.22 RESTRICTED DISCRETIONARY ASSESSMENT MATTERS

(1) *Conditions* may be imposed in relation to the matters over which the *Council* has exercised its discretion as set out in Rule 8.6.15.27(1).

#### 8.6.15.23 DISCRETIONARY ACTIVITIES

(1) Any activity listed below is a *Discretionary Activity* in the Commercial Precinct within the Paeroa Racecourse Structure Plan area:

- (a) Trade depots (plumbing, electrical, cabinet making, building, etc.) not associated with a *retail activity*.

**Note:** The Conservation and Heritage provisions in Section 6.0 and the Specific and District Wide provisions in section 7.0 also apply and may alter the *Discretionary Activity* status for the activities specified above or require additional resource consents.

#### 8.6.15.24 NON COMPLYING ACTIVITIES

- (1) The following are a *Non Complying Activity* in the Commercial Precinct within the Paeroa Racecourse Structure Plan area:

- (a) *Industrial activity* not otherwise provided for;
- (b) *Underground mining*;
- (c) *Exploration*;
- (d) *Service station*;
- (e) Transport depot;
- (f) Car, caravan and boat sales;
- (g) Farm machinery sales and repair;
- (h) Any activity not provided for as a *Permitted, Controlled, Restricted Discretionary, Discretionary* or *Prohibited Activity*.
- (i) Any *Permitted* or *Restricted Discretionary Activity* listed in Rules 8.6.15.20 and 8.6.15.21 that is located on land that has not been subdivided under the provisions of Rule 8.6.15.6 and *Certificates of Title* have not been issued.

#### 8.6.15.25 PROHIBITED ACTIVITIES

- (1) The following is a *Prohibited Activity* in the Commercial Precinct within the Paeroa Racecourse Structure Plan area:

- (a) *Surface mining*.

#### 8.6.15.26 COMMERCIAL PRECINCT DEVELOPMENT STANDARDS

- (1) Paeroa Racecourse Structure Plan – Commercial Precinct Development Standards
- (a) Maximum *height* – 10m
  - (b) *Daylight* control – no *building* shall project above 2m at the boundary of the Commercial Precinct, and not project above a 45 degree plane into the Precinct up to the maximum *height*. This standard does not apply to the boundary of the Commercial Precinct to Reserve (Passive) zoned land.
  - (c) *Yards* – nil
  - (d) *Net floor area* for residential units – each *household unit* shall have a *minimum net floor area* of 70m<sup>2</sup>.

- (e) *Outdoor living area* – each *household unit* shall provide an above ground floor level area of open space such as a balcony, deck, roof garden or terrace which shall be a minimum of 6m<sup>2</sup> in area and with a minimum dimension of 2m.

- (f) Hours of use

6am – 11pm	All activities except <i>dwelling</i> s and <i>visitor accommodation</i>
all days	
Any time	<i>Dwelling</i> s and <i>visitor accommodation</i>

- (g) Screening – any storage or service areas (including mechanical, electrical and utility equipment, refuse and recycling activities) not enclosed within a *building*, shall be fully enclosed or screened from public view from a street by solid walls/fences not less than 1.8m in *height*. Where adjoining a residential site, a solid wall/fence with a minimum *height* of 1.8m shall be erected to screen any adjacent storage or service areas not contained within a *building*.

**8.6.15.27 MATTERS OF DISCRETION**

- (1) *Conditions* may be imposed in relation to the matters over which the *Council* has exercised its discretion as listed below:

- (a) Any *Permitted Activity* that does not comply with the Development Standards in Rule 8.6.15.26(1).

The *Council* will restrict the exercise of its discretion to the relevant assessment criteria below:

- (2) **HEIGHT AND DAYLIGHTING**

- (a) The extent that topographical and *site* conditions (including easements) restrict the area or shape of the *site* that is suitable and available for building.
- (b) The desirability of maintaining consistency in design and appearance with existing *buildings* on the *site*.
- (c) The need to preserve existing trees, vegetation or important physical characteristics of the *site*.
- (d) Whether the boundary to which the standard relates is a common boundary with an area of permanent open space, the use of which will not be detrimentally affected by any increased shading or loss of visual *amenity*.
- (e) Whether the property adjoining the *site* is sufficiently higher and therefore the adjoining property will not be detrimentally affected.
- (f) Where the standard(s) is/are not met due to penetration by a dormer window, gable or similar roof feature, whether that will have a minor effect on the *amenities* of the neighbouring *site*.
- (g) The extent to which it is necessary to minimise the physical disturbance to the landscape and the landforms.

- (h) The degree to which *amenity* value and privacy of adjoining properties is affected by matters such as shading and loss of daylight.
- (i) The extent to which the *building* visually intrudes on any significant ridgeline or skyline or significant landscape, and what measures are proposed to reduce the visual effects of that intrusion.
- (j) Whether the *building* will detract from any view or vista which contributes to the aesthetic coherence of a locality, and if it does, what measures can and will be taken to reduce the detraction to an acceptable level or remove it completely.

**(3) OUTDOOR LIVING AREA**

- (a) Whether the outdoor space (either above or at ground floor level) provides a reasonable useable private space.
- (b) Whether the design of the *building* provides an adequate useable internal living area which has access to sunlight and natural ventilation.
- (c) Whether not meeting the requirement for an *outdoor living area* can be appropriately compensated for by reasonable proximity to a public open space area suitable for *passive recreational* use.

**(4) HOURS OF USE**

- (a) The extent to which the siting and orientation of the *building* and/or activity provides a sufficient buffer to adjoining residential properties and/or the orientation of the residential building and activities on the adjoining property are such that residential *amenity* values on adjoining residential properties are not adversely affected.

**(5) SCREENING**

- (a) The extent to which existing landscape features and/or *buildings* provide alternative suitable screening.
- (b) Whether a lower *height* of screening will still achieve the environmental outcome sought by the standard.
- (c) Whether compliance with the standard will have an adverse effect on vehicle or pedestrian safety.

**(6) RETAIL OR OFFICE ACTIVITY**

- (a) The extent to which the proposed *retail* or *office activity* (having regard to its size, composition and characteristics) in conjunction with other established or consented *retail* or *office activity*:
  - (i) avoids adverse effects on the vitality, function and amenity of the Paeroa town centre that go beyond those effects ordinarily associated with trade competition.
  - (ii) reinforces the primacy of the Paeroa town centre as the key focus of commercial (*retail* and *office*) *activity* in the District.

- (b) The compatibility of the effects of intensity and scale of the *development* arising from the numbers of people and/or vehicles using the *site*, with the existing and expected future *amenity* values of the surrounding area and any practicable mitigation measures that would be appropriate to manage those effects;
- (c) The assessment of the above matters having regard to the need to provide for the functional requirements of the activity.
- (d) Whether the volume and type of traffic generated by the activity are such that the *residential amenity* of the area, and safe and efficient operation of the *road* network, are not detrimentally affected.

To meet the above criteria, a special information requirement applies and any application for *retail* or *office activity* requiring *Restricted Discretionary* activity consent must be accompanied by a Centre Assessment, completed by a suitably qualified expert. Failure to provide this Centre Assessment results in a *Discretionary Activity* status.

## SPECIAL CHARACTER PRECINCT

### 8.6.15.28 ACTIVITY STATUS AND RULES FOR DEVELOPMENT

The underlying Residential zone provisions in Section 5.7 do not apply to development in the Special Character Precinct within the Paeroa Racecourse Structure Plan area since the following rules in Section 8.6.15.29 - 8.6.15.38 override the underlying zone provisions.

### 8.6.15.29 PERMITTED ACTIVITIES

- (1) Any activity listed below is a *Permitted Activity* in the Special Character Precinct within the Paeroa Racecourse Structure Plan area that does not involve building work listed in 8.6.15.30(1).
  - (a) *Residential Activities* above ground floor
  - (b) *Community Facility/Activity*
  - (c) *Passive Recreation*
  - (d) *Education/Training Activities*
  - (e) *Visitor Accommodation*
  - (f) One restaurant or café
  - (g) Demolition of ≤ 30% of existing Racecourse buildings

Provided that the development:

- (i) Is in accordance with and within land that has been subdivided under the provisions of Rule 8.6.15.6 and *Certificates of Title* have been issued;
- (ii) Complies with the Paeroa Racecourse Structure Plan – Special Character Development Standards specified in Rule 8.6.15.37(1);
- (iii) Complies with the Conservation and Heritage provisions in Section 6.0;
- (iv) Complies with the Specific and District Wide provisions in Section 7.0;
- (v) Complies with the District Wide Performance Standards in Section 8.0.

### 8.6.15.30 CONTROLLED ACTIVITIES

(1) Any activity listed below is a *Controlled Activity* in the Special Character Precinct within the Paeroa Racecourse Structure Plan area:

- (a) Erection of new *buildings*, external additions and external alterations to existing *buildings*.

Provided that the development:

- (i) Is in accordance with and within land that has been subdivided under the provisions of Rule 8.6.15.6 and *Certificates of Title* have been issued;
- (ii) Complies with the Paeroa Racecourse Structure Plan – Special Character Development Standards specified in Rule 8.6.15.37(1);
- (iii) Complies with the Conservation and Heritage provisions in Section 6.0;
- (iv) Complies with the Specific and District Wide provisions in Section 7.0;
- (v) Complies with the District Wide Performance Standards in Section 8.0.

### 8.6.15.31 CONTROLLED ACTIVITY MATTERS

(1) *Conditions* may be imposed in relation to the matters over which control has been reserved as specified below:

- (a) The effect on the special character context of the proposed or existing *building(s)*. Special character is defined as:

- (i) The varied topography and gently sloping bank overlooking the Racecourse tracks.
- (ii) Established landscape quality, notably the tree-lined entry and long views to the north.
- (iii) *Buildings* previously associated with Racecourse use and located in this area – although technically not heritage *buildings*, nor of significant architectural merit, their location and scale represent their use and community functions, that allowed the community to come together.
- (iv) The original entry gate and location, notably its connection with Thames Road.

Key design considerations therefore include:

- (1) Retention of existing mature trees where possible acknowledging the scheduled trees protected by Section 6.4.
- (2) Retention and enhancement of the tree-lined access road into the site from Thames Road and consideration of the views framed by this.
- (3) Retention and enhancement of the original gateway into the site, including retaining (and repairing where required) the existing low-level post and rail fence along Thames Road within the Special Character Precinct (where a fence is provided).
- (4) Retention of an element of level changes, to create gateway effects towards the racetracks (new road and recreational path).

- (5) Ensure long views from either buildings and / or landscaped spaces towards Black Rock are framed.
  - (6) Creation and retention of pockets of lush green spaces between buildings and mature trees.
  - (7) Establishment of a built form which represents the range of buildings previously on site, maintaining similar space between *buildings*, and simple 'no-fuss' detailing;
- (b) The effect on landscape and vegetation;
- (c) Consistency with the Paeroa Racecourse Structure Plan.

#### 8.6.15.32 RESTRICTED DISCRETIONARY ACTIVITIES

(1) Any activity listed below is a *Restricted Discretionary Activity* in the Special Character Precinct within the Paeroa Racecourse Structure Plan area:

- (a) Demolition of more than 30% of any structure identified as existing Racecourse buildings on the structure plan;
- (b) Any *Permitted Activity* or *Controlled Activity* that does not comply with the Special Character Development Standards in Rule 8.6.15.37(1);

Provided that the development:

- (i) Is in accordance with and within land that has been subdivided under the provisions of Rule 8.6.15.6 and *Certificates of Title* have been issued;
- (ii) Complies with the Conservation and Heritage provisions in Section 6.0;
- (iii) Complies with the Specific and District Wide provisions in Section 7.0;
- (iv) Complies with the District Wide Performance Standards in Section 8.0.

#### 8.6.15.33 RESTRICTED DISCRETIONARY ASSESSMENT MATTERS

(1) *Conditions* may be imposed in relation to the matters over which the *Council* has exercised its discretion as set out in Rule 8.6.15.38(1).

#### 8.6.15.34 DISCRETIONARY ACTIVITIES

(1) Any activity listed below is a *Discretionary Activity* in the Special Character Precinct within the Paeroa Racecourse Structure Plan area:

- (a) There are no *Discretionary Activities*.

**Note:** The Conservation and Heritage provisions in Section 6.0 and the Specific and District Wide provisions in section 7.0 also apply and may alter the *Discretionary Activity* status for the activities specified above or require additional resource consents.



**8.6.15.35 NON COMPLYING ACTIVITIES**

- (1) Any activity listed below is a *Non-complying Activity* in the Special Character Precinct within the Paeroa Racecourse Structure Plan area:
- (a) Any activity not listed in Rule 8.6.15.29, 8.6.15.30, 8.6.15.32, 8.6.15.34 or 8.6.15.36
  - (b) Any *Permitted, Controlled or Restricted Discretionary Activity* listed in Rules 8.6.15.29, 8.6.15.30 or 8.6.15.32 that is located on land that has not been subdivided under the provisions of Rule 8.6.15.6 and *Certificates of Title* have not been issued.

**8.6.15.36 PROHIBITED ACTIVITIES**

- (1) Any activity listed below is a *Prohibited Activity* in the Special Character Precinct within the Paeroa Racecourse Structure Plan area:
- (a) *Surface mining.*

**8.6.15.37 SPECIAL CHARACTER PRECINCT DEVELOPMENT STANDARDS**

- (1) Paeroa Racecourse Structure Plan – Special Character Precinct Development Standards
- (a) Maximum *height* – 10m
  - (b) *Daylight control* – no building shall project above 2m at the boundary of the Special Character Precinct, and not project above a 45 degree plane into the Precinct up to the maximum *height*.

(c) *Yards*

<i>Front Yard</i>	Nil	To internal <i>road</i> boundaries within the Structure Plan Area
	4.5m	To boundary with SH 26
<i>Side and Rear Yard</i>	1.5m	To boundary to Residential Zoned land beyond the Structure Plan Area
	1m	To boundary to Reserve (Passive) zoned land

(d) *Hours of use*

6am-11pm all days	<i>All activities except dwellings and visitor accommodation</i>
Any time	<i>Dwellings and visitor accommodation</i>

- (e) *Screening* – any storage or service areas (including mechanical, electrical and utility equipment, refuse and recycling activities) not enclosed within a *building*, shall be fully enclosed or screened from public view from a street by solid walls/fences not less than 1.8m in *height*. Where adjoining a residential site, a solid wall/fence with a minimum *height* of 1.8m shall be erected to screen any adjacent storage or service areas not contained within a *building*.

**8.6.15.38 MATTERS OF DISCRETION**

(1) *Conditions* may be imposed in relation to the matters over which the *Council* has exercised its discretion as listed below:

- (a) Any Demolition of existing *buildings* in the Special Character Precinct subject to Rule 8.6.15.32(1)

The *Council* will restrict the exercise of its discretion to the relevant assessment criteria below.

- (i) The integrity of the *building* in its current state, having regard to architectural form and style and its contribution to the special character of the area.
- (b) Any *Permitted Activity* that does not comply with the Development Standards in Rule 8.6.15.37(1).

The *Council* will restrict the exercise of its discretion to the relevant assessment criteria below.

**(2) HEIGHT AND DAYLIGHTING**

- (a) The extent that topographical and *site* conditions (including easements) restrict the area or shape of the *site* that is suitable and available for *building*.
- (b) The desirability of maintaining consistency in design and appearance with existing *buildings* on the *site*.
- (c) The need to preserve existing trees, vegetation or important physical characteristics of the *site*.
- (d) Whether the boundary to which the standard relates is a common boundary with an area of permanent open space, the use of which will not be detrimentally affected by any increased shading or loss of visual *amenity*.
- (e) Whether the property adjoining the *site* is sufficiently higher and therefore the adjoining property will not be detrimentally affected.
- (f) Where the standard(s) is/are not met due to penetration by a dormer window, gable or similar roof feature, whether that will have a minor effect on the *amenities* of the neighbouring *site*.
- (g) The extent to which it is necessary to minimise the physical disturbance to the landscape and the landforms.
- (h) The degree to which *amenity* value and privacy of adjoining properties is affected by matters such as shading and loss of daylight.
- (i) The extent to which the *building* visually intrudes on any significant ridgeline or skyline or significant landscape, and what measures are proposed to reduce the visual effects of that intrusion.
- (j) Whether the *building* will detract from any view or vista which contributes to the aesthetic coherence of a locality, and if it does, what measures can and will be taken to reduce the detraction to an acceptable level or remove it completely.

**(3) YARDS**

- (a) The extent that topographical and site conditions restrict the area or shape of the site that is available and suitable for building.
- (b) The degree to which the functioning of the *site* and/or the activity can be improved by not meeting the standard.
- (c) Whether there is a need to preserve existing trees, vegetation or important physical characteristics of the *site*.
- (d) The extent to which the provision of daylight and sunlight into the neighbouring properties and the visual and aural privacy of neighbouring sites will be affected.
- (e) The extent to which the safe and efficient functioning of the street or *road* will be significantly compromised.
- (f) Whether the detrimental effects of building in the *yard* can be reduced or avoided.
- (g) Whether the *yard* functions (including separation, *landscaping* and service provision) will be provided on the *site* by other means.

**(4) HOURS OF USE**

- (a) The extent to which the siting and orientation of the *building* and/or activity provides a sufficient buffer to adjoining residential properties and/or the orientation of the residential building and activities on the adjoining property are such that residential *amenity* values on adjoining residential properties are not adversely affected.

**(5) SCREENING**

- (a) The extent to which existing landscape features and/or *buildings* provide alternative suitable screening.
- (b) Whether a lower *height* of screening will still achieve the environmental outcome sought by the standard.
- (c) Whether compliance with the standard will have an adverse effect on vehicle or pedestrian safety.

**RESERVE (PASSIVE) ZONE****8.6.15.39 ACTIVITY STATUS AND RULES FOR DEVELOPMENT**

All open space areas zoned Reserve (Passive) within the structure plan are subject to Rule 5.16 Reserve (Passive) zone. The specific rules below only apply to the 'Signage Overlay' located on Thames Road.

**8.6.15.40 RESTRICTED DISCRETIONARY ACTIVITIES**

- (1) Any activity listed below is a *Restricted Discretionary Activity* in the Reserve (Passive) zoned land within the Paeroa Racecourse Structure Plan area:

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- (a) *Signs*: Erection and installation of any *signs*, for the purposes of advertising commercial tenancies within the structure plan Commercial Precinct within the Signage Overlay on Thames Road.

Provided that the signs:

- (i) Comply with the Restricted Discretionary Development Standards specified in Rule 8.6.15.41(1).

#### 8.6.15.41 DEVELOPMENT STANDARDS

(1) Restricted Discretionary Development Standards

- (a) A total of 2 *signs* may be erected within the area affected by the Signage Overlay.
- (b) No *sign* may exceed 8m<sup>2</sup> in area per sign face;
- (c) No *sign* may exceed 4m in maximum *height*.

#### 8.6.15.42 MATTERS OF DISCRETION

(1) *Conditions* may be imposed in relation to the matters over which discretion has been restricted as specified below (and listed in Rule 7.6.12):

- (a) The need for the *sign*.
- (b) The suitability of the location of the *sign*.
- (c) The extent to which design of the *sign* or *signs* has been integrated with existing or planned *signs*.
- (d) The need for the size, type and number of the *sign(s)*.
- (e) The effects of the *sign* or *signs* on *amenity values* of neighbouring properties.
- (f) The landscape and visual effects of the *sign*, and mitigation of planting loss, if any.
- (g) The general rules for *signs*, where applicable.
- (h) The effects of the *sign* or *signs* on traffic safety.
- (i) The comments of the appropriate road controlling authority.

#### 8.6.15.43 DISCRETIONARY ACTIVITIES

Any activity listed below is a *Discretionary Activity* in the Reserve (Passive) zoned land within the Paeroa Racecourse Structure Plan area:

- (1) Any *Restricted Discretionary Activity* listed in Rule 8.6.15.40(1) that does not comply with the Restricted Discretionary Development Standards specified in Rule 8.6.15.41(1).

**Note:** The Conservation and Heritage provisions in Section 6.0 and the Specific and District Wide provisions in section 7.0 also apply and may alter the Discretionary Activity status for the activities specified above or require additional resource consents.

8.6.15.44 STRUCTURE PLAN MAP – PAEROA RACECOURSE









8.6.15.45 STRUCTURE PLAN – STREET HIERARCHY



The diagram opposite illustrates the approach to the proposed street hierarchy.

Streets are arranged to emphasise the main racecourse ring, with a series of interconnecting streets connecting the outer loop with the inner race track.

**LEGEND**

-  Main entry road (18m)
-  18m road reserve
-  16m road reserve
-  10m - pedestrian priority

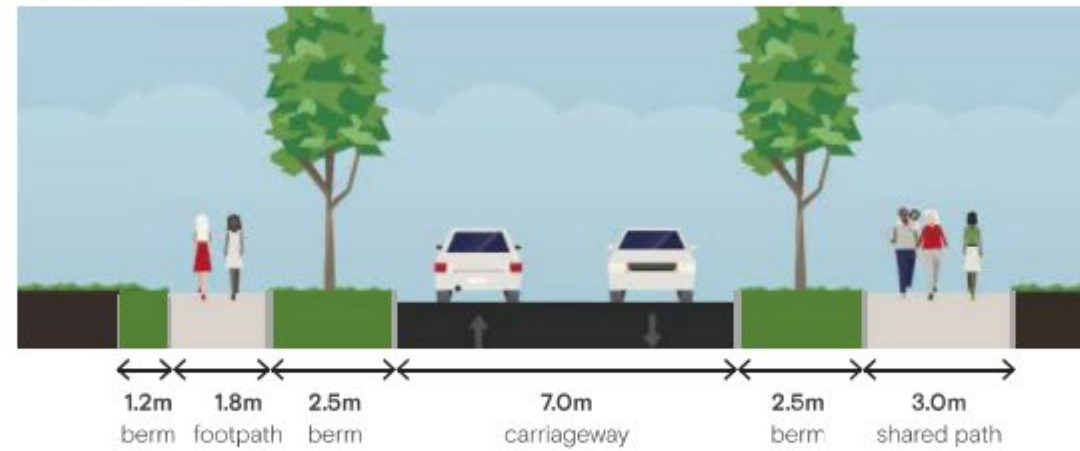
8.6.15.46 STRUCTURE PLAN – TYPICAL STREET SECTIONS

## Typical street sections

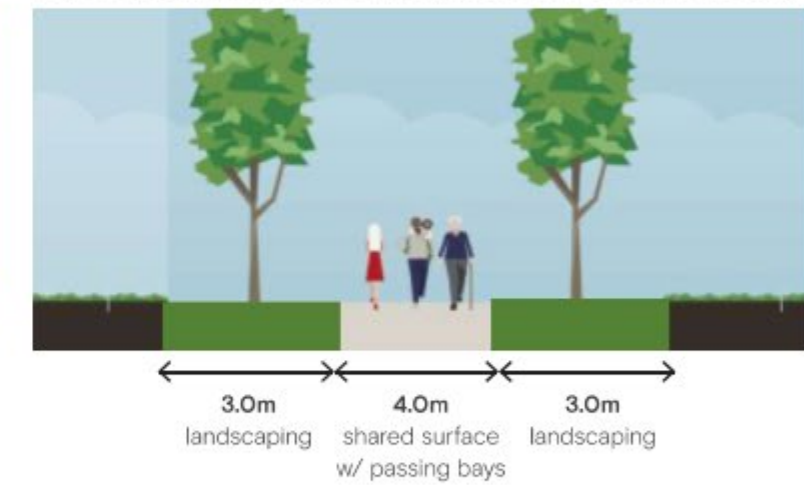
Opposite, indicative street sections show the scale and character of the proposed streets.

Pedestrian and cyclist safety is prioritised with a recreational loop hugging the outer racecourse track.

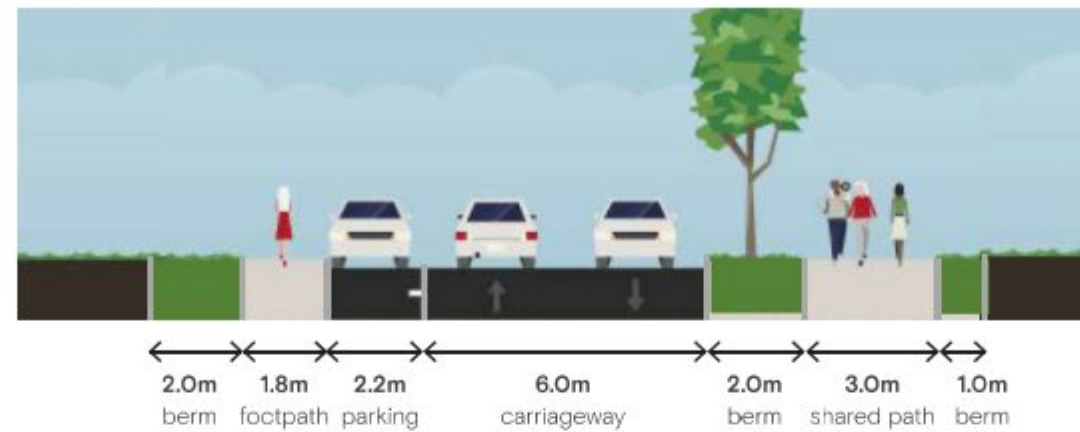
**Main entry road - 18m**



**10m pedestrian priority reserve (occasional vehicular access)**



**18m road reserve**



**16m road reserve**

